



Burwood^{Inc.1874}
Burwood . Burwood Heights . Croydon . Croydon Park . Enfield . Strathfield

Attachments Excluded from Agenda
Burwood Local Planning Panel Meeting
Thursday, 27 March, 2025
6:00 PM

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Development Applications

DA4/25 Section 4.55(2) Modification to BD.2016.021 at 199 Burwood Road, Burwood.

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Modified Conditions of Approval

**FEES/BONDS TO BE PAID TO COUNCIL OR TO THE NOMINATED BODY
PRIOR TO ISSUING A CONSTRUCTION CERTIFICATE**

1. The fees and/or bonds shown in the Table of Fees, are to be paid to Council or another approved collection agency (the Long Service Levy Corporation and its agents and an approved insurer under the *Home Building Act 1989*) and suitable evidence of payment is to be provided to the Principal Certifying Authority **prior to the issuing of a Construction Certificate.**
2. Building and Construction Industry Long Service Corporation levy \$13,965.00
\$16,976.00 (Payment to be made to Council, the Corporation or its Agent)
3. ~~The development being carried out in accordance with the plans and documentation submitted on 24/02/2016, except where amended by the conditions of consent~~

(Condition 3 above has been DELETED by this Section 4.55 modification application, dated 27 March 2025).

4. ~~Section 4.55 Architectural plans (as amended) received by Council prepared by Urban Link Architecture dated 15/12/21, Drawing Nos:~~

- ~~DA-0001, Issue C-D Location Plan Cover Sheet.~~
- ~~DA-0002, Issue C-D Site Analysis~~
- ~~DA-2000, Issue C-D Basement~~
- ~~DA-2001, Issue C-D Ground Floor Plan~~
- ~~DA-2002, Issue C-D First Floor Plan Level 01~~
- ~~DA-2003, Issue C-D Second Floor Level 02~~
- ~~DA-2004, Issue C-D Third Floor Level 03~~
- ~~DA-2005, Issue C-D Roof Terrace~~
- ~~DA-2006, Issue D Pre & Post Adaptable/Liveable Units~~
- ~~DA-2100, Issue C-D Elevations~~
- ~~DA-2200, Issue C-D Sections~~
- ~~DA-3000, Issue C-D Shadow Studies~~
- ~~DA-4001, Issue C-D GFA Calculations~~
- ~~DA-4003, Issue C-D Schedule of Finishes.~~

~~(Section 4.55 Application dated 20/6/22)~~

- ~~Landscape Plan prepared by Discount Landscape Plans (Drawing No. L/01, Revision A0 received by Council 24 February 2016 and dated 4/12/15 Proposed Landscape Plan – Roof L/01 Issue B dated 22/11/21 prepared by Discount Landscape Plans.~~
- ~~(Section 4.55 Application dated 20/6/22)~~

- ~~BASIX Certificate No. 699143M dated 22 February 2016 Revised BASIX Certificate No. 699143M_02 dated 04/12/21 prepared by Greenworld Architectural Drafting~~
- ~~(Section 4.55 Application dated 20/6/22)~~

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- ~~Traffic and Parking Assessment Report, prepared by Varga Traffic Planning P/L, dated 12 January 2016 Ref: 15764.~~
- ~~Geotechnical Desk Top Study: prepared by STS GeoEnvironmental P/L dated November 2015 and received by Council 2 February 2016.~~
- ~~Section 4.55 Statement of Environmental Effects dated 6/12/21 prepared by Planning Ingenuity
(Section 4.55 Application dated 20/6/22)~~
- ~~Stormwater Drawing No's. D01, D02, D03, D04 & D05 Issue A dated 26/11/21 prepared by United Consulting Engineers.
(Section 4.55 Application dated 20/6/22)~~
- ~~Quantity Survey Report dated 01/22/21 prepared by Construction Consultants for Section 4.55 Application
(Section 4.55 Application dated 20/6/22)~~
- ~~Accessibility Compliance Report for Section 4.55 Application Issue B dated 4/12/21 prepared by Access Link Consulting.
(Section 4.55 Application dated 20/6/22)~~

(Condition 4 above has been DELETED by this Section 4.55 modification application, dated 27 March 2025).

4. Section 4.55 Architectural plans) received by Council prepared by Urban Link Architecture dated 26/02/2025, Drawing Nos:
- DA-0001, Issue F – Location Plan Cover Sheet.
 - DA-0002, Issue F – Site Analysis
 - DA-2000, Issue F – Basement
 - DA-2001, Issue F – Ground Floor Plan
 - DA-2002, Issue F – First Floor Plan Level 01
 - DA-2003, Issue F – Second Floor Level 02
 - DA-2004, Issue F – Third Floor Level 03
 - DA-2005, Issue F – Roof Terrace
 - DA-2006, Issue F – Pre & Post Adaptable/Liveable Units
 - DA-2100, Issue F – Elevations
 - DA-2200, Issue F – Sections
 - DA-3000, Issue F – Shadow Studies
 - DA-4001, Issue F – GFA Calculations
 - DA-4003, Issue F – Schedule of Finishes.
- BASIX Certificate No. 1754281M, dated 04 July 2024, prepared by Gradwell Consulting

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- ***Geotechnical Desk Top Study: prepared by STS GeoEnvironmental P/L dated November 2015 and received by Council 2 February 2016.***
- ***Quantity Survey Report dated 01/22/21 prepared by Construction Consultants for Section 4.55 Application.***
- ***Waste Management Plan – Mixed Use Development comprising 15 units 3 commercial, Applicant's Name and Address: Urbanlink Architects***

(Condition 4 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

FEES

5. Damage Deposit - security deposit against damage occurring to Council's assets (footpath, road, stormwater drainage system, kerb and gutter, etc) during building work \$31,500 (Payment to be made to Council as a bond prior to issue of a Construction Certificate and/or commencement of demolition/bulk excavation)

NOTE: This deposit is refundable if no damage occurs.

The fees and/or bonds shown in the Table of Fees, are to be paid to Council or another approved collection agency (the Long Service Levy Corporation and its agents and an approved insurer under the *Home Building Act 1989*) and suitable evidence of payment is to be provided to the Principal Certifying Authority prior to the issuing of a Construction Certificate

PLANNING

6. Pursuant to Section 94A of the Environmental Planning and Assessment Act 1979 and the Section 94A Contributions Plan for Burwood Town Centre, the following monetary contribution towards public services and amenities is required:

Contribution Element			Contribution
A levy of 4% of the cost of carrying out the development, where the cost calculated and agreed by Council is \$4,850,407.00			\$194,016.28
Index Period	March 2022	CPI ₁	123.7

Office Use: T49

The above contribution will be adjusted at the time of payment. Applicants are advised to contact Council for the adjusted amount immediately prior to arranging payment.

The contribution will be adjusted in accordance with the following formula:

Contribution (at time of payment) = $C \times CPI_2$

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CPI₁

Where:

C: the original contributions amount as shown in the development consent;

CPI₂ the Consumer Price Index: All Groups Index for Sydney, for the immediate past quarter (available from the Australian Bureau of Statistics at the time of payment)

CPI₁ the Consumer Price Index: All Groups Index for Sydney, applied at the time of granting the development consent as shown on the development consent.

Note: The minimum payment will not be less than the contribution amount stated on the consent.

The contribution is to be paid to Council, or evidence that payment has been made is to be submitted to the Principal Certifying Authority, prior to the issuing of a Construction Certificate.

Council may accept works in kind or other material public benefits in lieu of the contribution required by this condition subject to and in accordance with the requirements specified in the Section 94A Contributions Plan for Burwood Town Centre.

Note: The payment of a Section 94A contribution over an amount of \$5,000 may only be paid by Bank Cheque (i.e. personal or company cheques will not be accepted). Contributions of \$5,000 or less may be paid by cash, EFTPOS, cheque or credit card. Payments by credit card may be subject to a surcharge.

7.
 - (a) **Prior to the issue of an Occupation Certificate**, an easement (right of way) across No. 199 and No. 197-197A Burwood Road shall be altered to address the proposed vehicle access arrangements under BD 2018/133. Evidence of registration of the establishment/alterations to the modified easements shall be provided to Council accordingly **prior to release of any Occupation Certificate**.
 - (b) **Prior to the issue of an Occupation Certificate**, the applicant is to arrange with Council's Environmental and Health Section for the issue of the appropriate number of garbage and recycling bins any payment of the necessary fees to enable commencement of the waste and recycling service.
8. Glazed balcony balustrades shall be constructed of opaque materials in lieu of clear glazing.

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9. External gas water heaters are to be located in recessed enclosures within external walls and are to be located so as to be not visible from a public road or place or adjoining property. Similarly, air conditioning units and plant are to be located so as not to be visible from a public road or place or adjoining property.
10. A separate application shall be lodged for any proposed subdivision of the site. Such subdivision shall designate all car parking spaces attached to a lot with the exception of visitor parking which shall be designated as common property. No car parking spaces shall be created as a separate lot. The drainage system for the site including basement pit and pumps and on site detention shall be designated as common property.
11. Mail boxes shall be provided at the secure access doorway to the residential lobby, such that mail can be delivered by Australia Post from outside the security door, and accessed by residents inside the secure area. The mail boxes are to comply with the requirements of Australia Post. Details to be submitted and approved **prior to the issue of a Construction Certificate.**
12. Clothes drying areas or facilities shall be provided within an area of communal open space or provided within each residential unit. If provided on the balconies of individual units, the drying facilities must be screened from exterior view, and be designed in such a way that they do not detract from the building's appearance from the public domain.
13. The door of the residential entry foyer to the building from Woodside Avenue, the door from the residential lobby to the rear common open space area are to be security grade features and are to be appropriately security keyed to ensure the personal safety and security of residents of the development. At the main entry door from Woodside Avenue an intercom system linked to each apartment is to be included in these security arrangements. Details on these matters are to be submitted and approved **prior to the issue of a Construction Certificate.**
14. The entrance driveway for access to the basement parking level is to be provided with a security door that ensures the personal safety and security of the residents of the building. The driveway security door is to be linked to the intercom system for each apartment. Details on these matters are to be submitted and approved **prior to the issue of a Construction Certificate.**
15. CCTV cameras shall be installed at the building so that they can survey the pedestrian entrance walkway from Woodside Avenue, the residential lobby, the entrance to the rear communal open space area and the entrance at Liverpool Road to the driveway to the parking levels. The CCTV system shall provide a quality image that can assist with the detection of crime and be used by the NSW Police in any investigation (preferably a quality digital system). CCTV system footage shall be retained for a period of no less than fourteen days and be available upon request by the NSW Police when required. Details are to be submitted and approved **prior to the issue of a Construction Certificate.**

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16. Provision of storage space in each unit and in the basement is to comply with the recommendations of the Apartment Design Guide. A schedule shall be submitted to the Principal Certifying Authority demonstrating compliance and approved **prior to the issue of a Construction Certificate.**
15. Provision of accessible/adaptable residential apartments and accessible parking spaces is to comply with the applicable Australian Standards as indicated in Section 3.2.19 of the Burwood Development Control Plan 2013.
16. In the apartments that include areas designated as studies, such studies are not to be converted for use as additional bedrooms. This matter is to be checked and approved by the Principal Certifying Authority **prior to the issue of an Occupation Certificate.**

BUILDING

19. Where residential building work (within the meaning of the Home Building Act 1989) is proposed to be carried out, either of the following is to be provided to the Principal Certifying Authority prior to the issuing of a Construction Certificate:-
 - a. Where work is carried out by a Principal Contractor:
 - (i) written advice of the Principal Contractor's name and licence number, and
 - (ii) A certificate purporting to be issued by an approved insurer under Part 6 of the *Home Building Act 1989* to the effect that a person is the holder of an insurance contract issued for the purposes of that Part.
 - OR
 - b. Where work is carried out by an owner-builder:-
 - (i) written advice of the person's name and Owner-Builder Permit number, or
 - (ii) a signed declaration from the owner of the land that states the reasonable market cost of the labour and materials involved in the work is not high enough for the owner to need an Owner-Builder's Permit to do the work.
20. Toilet facilities are to be provided, at or in the vicinity of the work site at the rate of one toilet for every 20 persons or part of 20 persons employed at the site. Each toilet provided:

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- a. must be a standard flushing toilet, and
- b. must be connected:
 - (i) to a public sewer, or
 - (ii) to an approved chemical closet facility.

The toilet facilities are to be completed before any other work is commenced.

- 21. Any excavations and backfilling associated with the erection or demolition of a building shall be carried out in a safe and careful manner and in accordance with appropriate professional standards. All necessary planking and strutting shall be of sufficient strength to retain the sides of excavations. A Certificate verifying the suitability of structural details for any proposed shoring is to be submitted to the Principal Certifying Authority before excavating.
- 22. All excavations associated with the erection or demolition of the building are to be properly guarded and protected to prevent them from being dangerous to life or property.
- 23. Where soil conditions require it:
 - a. retaining walls must be provided so as to prevent soil movement; and
 - b. adequate provision must be made for drainage.
- 24. If an excavation associated with the erection or demolition of a building extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made:
 - a. must preserve and protect the building from damage, and
 - b. if necessary, must underpin and support the building in an approved manner, and
 - c. must, at least 7 days before excavation below the level of the base of the footings of a building on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to the owner of the building being erected or demolished.

The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

Allotment of land includes a public road and any other public place.

- 25. If the work involved in the erection or demolition of a building:

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- a. is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- b. building involves the enclosure of a public place.

A hoarding or fence must be erected between the work site and the public place.

If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.

The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.

Any such hoarding, fence or awning is to be removed when the work has been completed.

26. Your attention is directed to the following:

WARNING

The approved plans must be submitted to Sydney Water Tap in™ to determine whether the development will affect any Sydney Water wastewater and water mains, stormwater drains and/or easement, and if any requirements need to be met. Plans will then be approved, with suitable evidence being provided to the Principal Certifying Authority **prior to the issuing of a Construction Certificate.**

Please refer to the web site www.sydneywater.com.au for:

- Sydney Water Tap in™ details – see Plumbing, building and developing then Sydney Water Tap in™ and
- Technical guidelines - Building over and adjacent to pipe assets – see Plumbing, building and developing then Building plan approval,

or telephone 13 20 92.

Note:

The Principal Certifying Authority must ensure that they either:

- Receive the Sydney Water Tap in™ approval letter or
- Sight the Water Servicing Coordinator approval stamp **before the issue of any Construction Certificate.**

27. The builder is to take all precautions to ensure footpaths and roads are kept in a safe condition and to prevent damage to Council's property. Pedestrian access across the footpath must be maintained at all times. Any damage

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caused will be made good by Council at Council's restoration rates, at the builder's expense.

28. No materials are to be stored on Council's roads, footpaths or parks.
29. No opening is to be made in any road or footpath, nor is any hoarding to be erected without the prior consent of Council. The builder is to obtain the relevant permit for which fees will be charged in accordance with Council's current Schedule of Fees and Charges.
30. The builder shall erect and maintain in good order all necessary hoardings, barricades and warning signs required to provide adequate public safety. Night warning lamps are to be provided where necessary. A Principal Certifying Authority sign should also be displayed in a prominent position at the front of the development site.
31. ***Hours of work shall be from 7:00am to 5:30pm 6.00pm Mondays to Fridays inclusive, and from 7:00am to 4:00pm Saturdays. No work shall be carried out on Sundays or Public Holidays. The owner/builder shall be responsible for the compliance of this condition by all sub-contractors, including demolishers.***

(Condition 31 above has been AMENDED by this Section 4.55 modification application, dated 27 March 2025).

32. The approved structure shall not be used or occupied unless an Occupation Certificate (being a Final Certificate or an Interim Certificate) as referred to in section 109C(1)(c) of the *Environmental Planning & Assessment Act 1979* has been issued.

(Vide Section 109M *Environmental Planning & Assessment Act 1979*)

33. The building works are to be inspected during construction by the Principal Certifying Authority or an appropriate Accredited Certifier authorised by the Principal Certifying Authority at the stages of construction listed in the following schedule. The Principal Certifying Authority must be satisfied that the construction satisfies the standards specified in the Building Code of Australia or in this approval before proceeding beyond the relevant stage of construction.

SCHEDULE OF CONSTRUCTION STAGES REQUIRING INSPECTION

- * After the commencement of the excavation for, and before the placement of, the first footing;
- * Prior to covering waterproofing in any wet areas, for a minimum of 10% of rooms with wet areas within a building;
- * Prior to covering any stormwater drainage connections; and

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- * After the building work has been completed and prior to any Occupation Certificate being issued in relation to the building.

34. An application for a Construction Certificate is to be made to Council or an Accredited Certifier. Council's "Construction Certificate Application" form is to be used where application is made to Council. Copies are available upon request. A Construction Certificate must be obtained **prior to the commencement of any building work.**
35. Dial Before You Dig is a free national community service designed to prevent damage and disruption to the vast pipe and cable networks which provides Australia with the essential services we use every day – electricity, gas, communications and water.

Before you dig call "Dial Before You Dig" on 1100 (listen to the prompts) or register on line at www.1100.com.au for underground utility services information for any excavation areas.

The Dial Before You Dig service is also designed to protect Australia's excavators. Whether you are a backyard renovator, an individual tradesman or a professional excavator, the potential for injury, personal liability and even death exists every day. Obtaining accurate information about your work site significantly minimises these risks.

Reason: To ensure that essential services such as electricity, gas, communications and water are not affected by excavation or construction works.

36. All building works being erected wholly within the boundaries of the property.
37. All sanitary plumbing being concealed in suitably enclosed ducts. Such ducts are to be constructed internally (i.e. not on the outside face of an external wall) and are to be adequately sound-proofed.
38. All plumbing and drainage work being carried out by licensed tradesmen and in accordance with the requirements of the Plumbing Code of Australia.
39. The floor of the wet areas being of a material impervious to moisture and graded and drained to the sewers of Sydney Water.
40. The noise emitted by any air-conditioning equipment being inaudible in your neighbours' homes between 10:00pm and 7:00am weekdays and 10:00pm and 8:00am on weekends and public holidays. Council is to be consulted prior to the installation of any air-conditioning equipment.
41. All building work must be carried out in accordance with the provisions of the Building Code of Australia.

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42. Safety glazing complying with B1.4 of the Building Code of Australia used in every glazed door or panel that is capable of being mistaken for a doorway or unimpeded path of travel. The glazing must comply with Australian Standard AS 1288–2006: Glass in Buildings - Selection and Installation. Details of the method of complying with this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**
43. Framed panels or doors enclosing or partially enclosing a shower or bath shall be glazed with "A" or "B" grade safety glazing material in accordance with Australian Standard AS 1288-2006, Table 4.5 SAA Glass Installation Code (Human Impact Considerations) and B1.4 of the Building Code of Australia. Details of the method of complying with this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**
44. Treatment for the protection of the building from subterranean termites must be carried out in accordance with Australian Standard AS 3660.1-2014 "Termite management - New building Work."

If the method of protection is to be by way of a chemical barrier, it becomes the responsibility of the owner to maintain a suitable maintenance procedure in accordance with the manufacturer's requirements. Such responsibility is placed solely upon the owner.

45. Details showing compliance with this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**

After treatment the following is to be carried out:-

- a. A durable notice must be permanently fixed to the building in a prominent location, such as the meter box, indicating:-
- (i) The method of protection.
 - (ii) The date of installation of the system.
 - (iii) Where a chemical barrier is used, its life expectancy as listed on the National Registration Authority label.
 - (iv) The installer's or manufacturer's recommendation for the scope and frequency of future inspection for termite activity.
- b. Provide the Principal Certifying Authority with a Certificate which verifies that termite protection has been provided in accordance with Australian Standard AS 3660.1-2014. In the case of Reinforced Concrete Slab construction the Certificate is to verify that the protection incorporates both beneath slab (Part A) and slab penetrations (Part B) treatment.
46. A registered surveyor's certificate being submitted to the Principal Certifying Authority, **prior to the issue of an Occupation Certificate**, as follows:-

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- a. Before pouring of concrete slab on every level to indicate the height of the finished floor level and to show boundary clearances; and
 - b. On completion of the building to indicate the height of the finished floor levels, the height of the roof ridge/parapet and to show boundary clearances and areas of the site occupied by the building.
47. **Prior to the commencement of building work**, the following is to be carried out:-
- a. Submit to Council a "Notice of Intention to Commence Building Work and Appointment of a Principal Certifying Authority" form. Council's "Notice of Intention to Commence Building Work and Appointment of a Principal Certifying Authority" form is to be used where application is made to Council.
 - b. Ensure detailed plans and specifications of the building are endorsed with a Construction Certificate by Council or an Accredited Certifier. Council's "Construction Certificate Application" form is to be used where application is made to Council. Copies are available on request.

(Vide Section 81A *Environmental Planning & Assessment Act 1979*)

48. ***The building being known as No. "199" Burwood Road, Burwood and this number (at least 150mm in height) being clearly visible from the street and displayed on the site near to the residential lobby entrance and mailboxes, prior to the issuing of an Occupation Certificate.***

(Condition 48 above has been AMENDED by this Section 4.55 modification application, dated 27 March 2025).

49. A "Section 73 Compliance Certificate" under the *Sydney Water Act 1994* must be obtained from Sydney Water Corporation. Make early application for the certificate, as there may be water and sewer pipes to be built and this can take some time. This can also impact on other services and building, driveway or landscape design.

Application must be made through an authorised Water Servicing Coordinator. For assistance either visit www.sydneywater.com.au > Building and developing > Developing your Land > Water Servicing Coordinator or telephone 13 20 92.

The Section 73 Certificate must be submitted to the Principal Certifying Authority **prior to the issuing of an Occupation Certificate.**

50. Structural engineer's details prepared and certified by a practicing Structural Engineer for all reinforced concrete and structural members being submitted to

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the Principal Certifying Authority for approval **prior to the issuing of a Construction Certificate.**

51. The Principal Certifying Authority or Structural Engineer is to also supervise the construction. All Certificates from the supervising Structural Engineer are to be submitted to the Principal Certifying Authority before an Occupation Certificate is issued stating that all reinforced concrete and/or structural members have been erected in accordance with his/her requirements and the relevant SAA Codes.
52. Timber sizes and the framework in general are to conform to the requirements of Australian Standard AS 1684 "Residential timber-framed construction."
53. Mechanical ventilation/air conditioning details are to be submitted to the Principal Certifying Authority for approval **prior to the issuing of a Construction Certificate** and must include the following:-
 - a. The location and size of proposed ductwork.
 - b. The location of equipment.
 - c. The performance characteristics of the proposed motor/s and fan/s.
 - d. The air flow characteristics of the system.

At the completion of work a Certificate from an Accredited Certifier, Mechanical Engineer or other suitably qualified person, to the effect that the ventilation system has been installed and performs in accordance with the provisions of Part F4 of the Building Code of Australia, Australian Standard AS 1668 "SAA Mechanical Ventilation and Air Conditioning Code", Part 1 and Part 2, Australian Standard AS 3666-1989 and the *Noise Control Act 1975*, must be submitted to the Principal Certifying Authority **prior to the issue of an Occupation Certificate.**

54. Fire Resistance Levels of all structural members, including external and internal walls, spandrels, external and internal columns, lift shafts and stair shafts, ventilation, pipe and like shafts, floors and roofs shall comply with the requirements of Specification C1.1 of the Building Code of Australia. Details of the method of achieving this must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**
55. All materials used in the building must comply with early fire hazard criteria of Specification C1.10 of the Building Code of Australia.
56. Means of access and egress complying with Section D of the Building Code of Australia. Details of the method of achieving this must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**

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57. The building being provided with both access and sanitary facilities (where required) for people with disabilities. The sanitary facilities are to be provided in accordance with F2.4 of the Building Code of Australia and are to comply with the requirements of Clause 10 of AS 1428.1-2009. Access is to be provided to and within the building so as to comply with all the requirements of Part D3 of the BCA and the relevant provisions of AS 1428.1-2009. Details of the method of achieving this must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**
58. The *Commonwealth Disability Discrimination Act 1992* may apply to this particular proposal. Submissions and/or approval of the application does not imply or confer compliance with this Act. Applicants should satisfy themselves and make their inquiries to the Human Rights and Equal Opportunity Commission.
59. Continuous balustrades shall be provided along the side/s of any stairway or ramp, any corridor, hallway, balcony, access bridge or the like, any path of access to a building if:-
- a. It is not bounded by a wall; and
 - b. The change in level is more than one (1) metre, or five (5) risers in the case of a stairway, from the floor or ground surface beneath;

except where specific exemptions are provided in the Building Code of Australia.

Balustrades shall prevent as far as practicable:

- a. Children climbing over or through it; and
- b. Persons accidentally falling from the floor; and
- c. Objects which might strike a person at a lower level falling from the floor surface.

Balustrade heights and designs shall comply with Part D2.16 of the Building Code of Australia and Australian Standard AS/NZS 1170 Part 1 – Structural design actions. Height above nosings of stair treads, landing, corridors and the like shall generally be not less than 865mm.

Details of the method of satisfying these requirements must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**

60. The building being equipped with a smoke alarm system as required by Table E2.2a of the Building Code of Australia. The system is to satisfy the requirements of Specification E2.2a of the Building Code of Australia and in

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particular is to comply with the relevant parts of AS 3786-2014 and AS 1670.1-2004. Details of the method of complying with this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**

61. Protection of openings (where required) is to be in accordance with Part C3.2 and C3.4 of the Building Code of Australia. Details of the method of satisfying this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**
62. Protection of openable windows (where required) is to be in accordance with Part D2.24 of the Building Code of Australia. Details of the method of satisfying this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**
63. A Fire Safety Certificate (copies available from Council) is to be given to the Principal Certifying Authority prior to applying for an Occupation Certificate or Interim Occupation Certificate and thereafter once in every 12 month period an Annual Fire Safety Statement is to be given to Council. The certificate and statement attest to both the inspection of all essential fire safety measures by a properly qualified person and to the regular maintenance of the fire safety measures. A copy of the Fire Safety Certificate and the Fire Safety Schedule are to be given to the Commissioner of New South Wales Fire and Rescue by **the building owner** and copies of these documents are to be prominently displayed in the building. Similarly copies of Annual Fire Safety Statements are also to be given to the Commissioner and displayed in the building.

(Vide clause 153 & Division 3 of the *Environmental Planning & Assessment Regulation 2000*)

64. Noise transmission and insulation ratings for building elements being in accordance with Specification Part F5 of the Building Code of Australia.

Details of the method of satisfying this requirement must be noted on the plans or in the specifications **prior to the issuing of a Construction Certificate.**

65. Engineering Design – Basement Excavation

The following engineering details or design documentation shall be submitted to the Principal Certifying Authority (Council or Accredited Certifier) **prior to the issuing of a Construction Certificate:**

- (a) Documentary evidence prepared by a suitably qualified professional Geotechnical Engineer that confirms the suitability of the site for the proposed excavation and building, as well as certifying the suitability and adequacy of the proposed design and construction of the building for the site.

- (b) A report shall be prepared by a professional engineer **prior to the issuing of a Construction Certificate**, detailing the proposed methods of excavation, shoring or pile construction including details of vibration emissions and detailing any possible damage which may occur to adjoining or nearby premises due to building and excavation works. Any practices or procedures specified in the Engineer's Report in relation to the avoidance or minimisation of structural damage to nearby premises, are to be fully complied with and incorporated into the plans and specifications for the Construction Certificate.

A copy of the Engineer's Report is to be submitted to Council, even if the Council is not the Principal Certifying Authority.

TRAFFIC and TRANSPORT

66. All owners, tenants and occupiers of this building are not eligible to participate in any existing or proposed Council on-street resident parking schemes.
67. Signs reading 'all owners, tenants and occupiers of this building are advised that they are not eligible to obtain an on-street resident parking permit from Council' must **be permanently displayed and located** in prominent places such as at display apartments and on all directory boards or notice boards, where they can easily be observed and read by people entering the building. The signs must be erected prior to an Occupation Certificate being issued and must be maintained in good order at all times **by the Owners Corporation**.
68. *A minimum of 49 15 off-street car parking spaces must be provided on-site. The design, layout, signage, line marking, lighting and physical controls of all off-street parking facilities must comply with the minimum requirements of Australian Standard AS/NZS 2890.1 - 2004 Parking facilities Part 1: Off-street car parking and Council's Development Control Plan.*

(Condition 68 above has been AMENDED by this Section 4.55 modification application, dated 27 March 2025).

69. *The approved parking spaces must be allocated as detailed below. All spaces must be appropriately line-marked and labelled according to this requirement prior to the issue of an Occupation Certificate. If the development is to be strata subdivided, the car park layout must respect the required allocation:*
- (a) *45 11 residential parking spaces.*
(b) *3 visitor parking spaces.*
(c) *1 retail parking spaces.*

(Condition 69 above has been AMENDED by this Section 4.55 modification application, dated 27 March 2025).

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70. No part of the common property, apart from the visitor vehicle spaces which are to be used only by visitors to the building, and service vehicle spaces which are to be used only by service vehicles, is to be used for the parking or storage of vehicles or trailers.
71. Visitor parking spaces must not at any time be allocated, sold or leased to an individual owner/occupier and must be strictly retained as common property by the Owners Corporation for use by building visitors.
72. All visitor parking spaces must be grouped together, and located at the most convenient location to the car parking entrance. All spaces must be clearly marked 'visitor' prior to the issue of an Occupation Certificate. All signs must be maintained in good order at all times.
73. Where a boomgate or barrier control is in place, the visitor spaces must be accessible to visitors by the location of an intercom (or card controller system) at the car park entry and at least 6m clear of the property boundary, wired to all units. The intercom must comply with 'Australian Standard AS 1428.2-1992: Design for access and mobility - Enhance and additional requirements - Building and facilities Sections 22 and 23'.
74. Of the required car parking spaces, at least 3 must be designed and provided for accessible car parking for people with mobility impairment in accordance with Australian Standard AS/NZS 2890.6 - 2009 Parking facilities Part 6: Off-street parking for people with disabilities. Accessible car parking spaces must have a minimum headroom of 2.5m and must be clearly marked and appropriately located as accessible parking for people with mobility impairment.
75. Where a car park is serviced by lifts, accessible spaces for people with mobility impairment are to be located close to lifts. Where a car park is not serviced by lifts, accessible spaces for people with mobility impairment are to be located at ground level, or accessible to ground level by a continually accessible path of travel, preferably under cover.
76. The layout, design and security of bicycle facilities either on-street or off-street must comply with the minimum requirements of Australian Standard AS 2890.3 – 1993 Parking Facilities Part 3: Bicycle Parking Facilities.
77. The site must be configured to allow a vehicle to be driven onto and off the site in a forward direction.
78. The following signs must be provided and maintained within the site at the point(s) of vehicle egress:
 - (a) Compelling drivers to STOP before proceeding onto the public way;

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- (b) Compelling drivers to "Give Way to Pedestrians" before crossing the footway.
79. A system of traffic mirrors must be installed at the ends of any ramp(s), to indicate traffic movement on the ramp(s).
80. Solid walls immediately adjacent to the basement entry and exit must not exceed 0.6m in height for the first 2.5m within the boundary so as to ensure adequate sight lines for motorists and pedestrians.
81. The size of vehicles servicing the property must be a maximum length of 6.4m.
82. Any proposals for alterations to the public road, involving traffic and parking arrangements, must be designed in accordance with RMS Technical Directives and must be referred to and agreed to by the Traffic Committee prior to any work commencing on site.
83. All costs associated with the construction of any new road works including kerb and gutter, road pavement, drainage system and footway shall be borne by the developer. The new road works must be designed and constructed in accordance with any relevant Australian Standards, Austroads Guides and RMS Technical Directions.
84. All costs associated with signposting for any kerbside parking restrictions and traffic management measures, including any relocation of parking meters, associated with the development shall be borne by the developer.
85. A Construction Traffic Management Plan must be submitted and approved by Council **prior to the commencement of the works** associated with such activity or the Construction Certificate (whichever occurs first). The following matters should be addressed in the plan (where applicable):
- a) A plan view of the entire site and frontage roadways indicating:
- i) Dedicated construction site entrances and exits, controlled by a certified traffic controller, to safely manage pedestrians and construction related vehicles in the frontage roadways.
 - ii) Turning areas within the site for construction and spoil removal vehicles, allowing a forward egress for all construction vehicles on the site.
 - iii) The proposed locations of work zones where it is not possible for loading/unloading to occur on the site in the frontage roadways (which will require separate approval by Council).
 - iv) Location of any proposed crane and concrete pump and truck standing areas on and off the site (which will require separate approval by Council).
 - v) A dedicated unloading and loading point within the site for all construction vehicles, plant and deliveries.
 - vi) Details of vertical and horizontal material handling and deliveries.

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- vii) Any on-site parking area for employees, tradespersons and construction vehicles where possible.
- viii) Traffic routes to and from the site from the closest arterial road in all directions.

b) Traffic control plan(s) for the site must be in accordance with the Roads and Maritime Services publication "Traffic Control Worksite Manual" and prepared by a suitably qualified person. The main stages of the development requiring specific construction management measures are to be identified and specific traffic control measures identified for each stage.

86. Should works require any of the following on public property (footpaths, roads, reserves), an application shall be submitted and approved by Council prior to the commencement of the works associated with such activity or the Construction Certificate (whichever occurs first)
- i) Work zone.
 - ii) Temporary closure of roadway/footpath.
 - iii) Mobile crane or any standing plant
 - iv) Scaffolding/Hoardings (fencing on public land)
 - v) Road works including vehicle crossing/kerb & guttering, footpath, stormwater provisions etc.
 - vi) Installation or replacement of private stormwater drain, utility service or water supply

DEMOLITION

87. Removal of any asbestos must be undertaken in compliance with the requirements of WorkCover. Refer to their publication "Your Guide to Working with Asbestos." Demolition of the building is to be carried out in accordance with the requirements of Australian Standard AS 2601 – 2001, where applicable.
88. ***Hours of demolition work shall be from 7:00am to ~~5:30pm~~ 6.00pm Mondays to Fridays inclusive, and from 7:00am to 4:00pm Saturdays. No demolition work shall be carried out on Sundays or Public Holidays. The owner/builder shall be responsible for the compliance of this condition by all sub-contractors, including demolishers.***
- (Condition 88 above has been AMENDED by this Section 4.55 modification application, dated 27 March 2025).**
89. Access to the site is to be restricted and the site is to be secured when demolition work is not in progress or the site is otherwise occupied.
90. The demolition site is to be provided with measures to mitigate against dust nuisances arising on adjoining sites and roadways. To achieve this, a fence or barrier is to be erected around the site. The construction may be steel mesh

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which is covered with a suitable filtering medium or such other construction acceptable to Council. An effective program of watering the site is also required to be maintained.

91. All demolition and excavation materials are to be removed from the site or disposed of onsite using methods that comply with relevant environmental protection legislation.
92. When demolition of any existing building is involved, burning of any demolition materials on the site is prohibited.
93. Dilapidation surveys are to be carried out by a Practising Structural Engineer, which is to include a full photographic record of the exterior and interior of the buildings at the applicants/owners expense on all premises adjoining the site and the survey is to be submitted to Council and the adjoining land owners **prior to the commencement of any works**. A further dilapidation survey is also to be carried out and submitted to Council and the adjoining owners **prior to the issuing of an Occupation Certificate**. The dilapidation surveys shall be dated accordingly.

SUBDIVISION

94. A plan of consolidation to bring separate allotments into one lot under one Title being submitted to Council for approval and the issue of a Subdivision Certificate. The linen plan shall be registered by the Land Titles Office, **prior to the issuing of a Construction Certificate**.
95. A 'Section 73 Compliance Certificate' under the Sydney Water Act 1994 must be obtained from Sydney Water Corporation. Make early application for the certificate, as there may be water and sewer pipes to be built and this can take some time. This can also impact on other services and building, driveway or landscape design.

Application must be made through an authorised Water Servicing Coordinator. For help either visit www.sydneywater.com.au > Plumbing, building and developing > Providers > Lists or telephone 13 20 92.

The Section 73 Certificate must be submitted to the Principal Certifying Authority **prior to release of the Linen Plan of Subdivision and/or the issuing of an Occupation Certificate** for the development.

HEALTH

96. An Environmental Management Plan is to be submitted to Council for approval, **prior to the commencement of any works**, detailing the control and management methods to be implemented in addressing the following issues during the demolition, excavation and construction phases of the project:

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- Noise and vibration control
 - Dust and odour suppression and control
 - Storm water control and discharge
 - Erosion control
 - Waste storage and recycling control
 - Litter control
 - Construction material storage
 - Truck cleaning methods on site so as to prevent spread of soil and like materials onto Council's roadways
97. A car wash area / bay is to be provided and be graded and drained to a waste water disposal system in accordance with the requirements of Sydney Water.
98. Mechanical ventilation and or air conditioning systems and equipment are to be designed and installed in locations that do not cause any noise nuisance or disturbance to near-by residential or commercial premises.
99. Separate development application(s) are to be submitted for the fit out of any part of the premises as a commercial use if required.
100. A waste cupboard or other storage area is to be provided within each dwelling which is of sufficient size to hold a single day's waste and to enable source separation of general waste, recyclables and compostable materials.
101. An area is to be nominated on the site to provide the capability for onsite communal composting. The location and design are to be in accordance with the controls set out on in Councils DCP – 6.2 Waste Management and Appendix 8.1.
102. Both residential and commercial garbage and recycling storage areas are to be:
- a. Supplied with both **hot and cold** water;
 - b. Paved with impervious floor materials;
 - c. Coved at the intersection of the floor and the walls;
 - d. Graded and drained to a floor waste which is connected to the sewer in accordance with the requirements of Sydney Water;
 - e. Adequately ventilated (mechanically or naturally) so that odour emissions do not cause offensive odour as defined by the Protection of the Environment Operations Act 1997;
 - f. Fitted with appropriate interventions to meet fire safety standards in accordance with the Building Code of Australia.
 - g. Suitable signage is to be installed in each waste service room encouraging the separation of recyclables from the general waste stream.
103. A Caretaker is to be appointed for the development who will have ongoing responsibility for the proper management of the waste and recycling services.

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104. All waste collections are to be carried out from within the building (not from the kerb side). The caretaker is to wheel the waste and recycling bins to the nominated bin holding area for collection.
105. The applicant shall provide to Council a legally drafted agreement at their own expense in the form approved by Council which gives right of access and absolves Council and / or any of its waste collection contractors from any damage or injury that may arise from the onsite collection of waste and recyclables.
106. The vehicular access to the loading dock waste storage area is to be designed to allow for access into the collection bay by a fully laden waste and / or recycle collection vehicle.
107. Residential and commercial waste and recycling collections are to be carried out in a manner and at times which do not cause a noise nuisance to the immediate or nearby residents.

Note; Council reserves the right to issue a direction under the Protection of the Environment Operations Act to address any noise or other nuisance complaints.
108. Waste and recycling bins shall be kept clean and hygienic condition. Bins are to be washed regularly within the garbage storage room with any waste water being discharged to the sewer by way of a grated drain.
109. **Prior to the issue of the Occupation Certificate**, the applicant is to arrange with Council's Environment and Health Section the issue of the appropriate number of garbage and recycling bins and payment of the necessary fees to enable commencement of the waste and recycling service.

ENGINEERING

110. A detailed drainage design shall be submitted to the Principal Certifying Authority.
 - a. The design and calculations shall indicate the details of the proposed method of stormwater disposal and shall be prepared by a competent practicing hydraulic/civil engineer in accordance with Council's Stormwater Management Code.
 - b. Allowance shall be made for surface runoff from adjacent properties, and to retain existing surface flow path systems through the site. Any redirection or treatment of these flows shall not adversely affect any other property.

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- c. Overflow paths shall be provided to allow for flows in excess of the capacity of the pipe/drainage system draining the site, as well as from any on-site stormwater detention storage.
 - d. The design is to be reviewed by Council or an Accredited Certifier - Civil Engineering **prior to the issuing of a Construction Certificate.**
- 111. Details and calculations shall be prepared by a competent practicing Hydraulic/Civil Engineer. They shall include:
 - a. a catchment plan
 - b. plans showing proposed and existing floor, ground and pavement levels to Australian Height Datum (AHD)
 - c. details of pipelines/channels showing calculated flows, velocity, size, materials, grade, invert and surface levels
 - d. details and dimensions of pits and drainage structures
 - e. hydrologic and hydraulic calculations
 - f. details of any services near to or affected by any proposed drainage line
 - g. any calculations necessary to demonstrate the functioning of any proposed drainage facility is in accordance with Council's requirements
 - h. the depth and location of any existing stormwater pipeline and/or channel being connected to shall be confirmed by the applicant on site. Certification of such is to be provided to Council **prior to the release of the construction certificate**

The details and calculations are to be reviewed by Council or an Accredited Certifier - Civil Engineering, **prior to the issuing of a Construction Certificate.**
- 112. On-site stormwater detention storage shall be provided in conjunction with the stormwater disposal system.
 - a. This storage shall be designed by a competent practicing Hydraulic/Civil Engineer in accordance with Council's Stormwater Management Code and submitted to the Principal Certifying Authority.
 - b. The design is to be reviewed by Council or an Accredited Certifier - Civil Engineering, **prior to the issuing of a Construction Certificate.**
- 113. The stormwater works on the development property and connection to Council's stormwater system are to be inspected during construction by a competent

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practicing hydraulic/civil engineer. The inspections are to be carried out at the stages of construction listed in the following schedule. A compliance Certificate verifying that the construction is in accordance with the approved design, this development consent and satisfies the relevant Australian Standard is to be submitted to the Principal Certifying Authority before proceeding beyond the relevant stage of construction.

SCHEDULE OF CONSTRUCTION STAGES REQUIRING INSPECTION

- a. Following placement of pipe bedding material. Confirm trench/pipe location, adequacy of depth of cover, bedding material and depth.
 - b. Following joining of pipes and connection to Council's stormwater system.
 - c. For on-site detention systems:-
 - (i) Following set out of detention tank/area to confirm area and volume of storage.
 - (ii) Following placement of weep-holes, orifice and/or weir flow control, outlet screen and overflow provision.
 - d. Following backfilling. Confirm adequacy of backfilling material and compaction.
114. Following completion of all drainage works:-
- a. Works-as-executed plans, prepared and signed by a registered surveyor, shall be prepared. These plans shall include levels and location for all drainage structures and works, buildings (including floor levels) and finished ground and pavement surface levels. These plans are to be reviewed by the competent practicing hydraulic/civil engineer that inspected the works during construction.
 - b. The Principal Certifying Authority is to be provided with a Certificate from a competent practicing hydraulic/civil engineer. The Certificate shall state that all stormwater drainage and related work has been constructed in accordance with the approved plans and consent conditions as shown on the work-as-executed plans, prior to the issuing of an Occupation Certificate.
115. A Positive Covenant under section 88E of the *Conveyancing Act* shall be created on the title of the property(s) detailing the
- i) *Overland surface flow path*
 - ii) *Finished pavement and ground levels*
 - iii) *Prevention of the erection of any structures or fencing*

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- iv) *On-site Stormwater Detention system*
- v) *Pump and rising main system*

incorporated in the development. The wording of the Instrument shall include but not be limited to the following:

- a. The proprietor of the property agrees to be responsible for keeping clear and the maintenance of the facilities consisting of:
 - i) *The overland surface flow path*
 - ii) *Finished pavement and ground levels*
 - iii) *Prevention of the erection of any structures or fencing*
 - iv) *On-site Stormwater Detention system*
 - v) *Pump and rising main system*
- b. The proprietor agrees to have the facilities inspected annually by a competent practicing Hydraulic/Civil Engineer.
- c. The Council shall have the right to enter upon the land referred to above, at all reasonable times to inspect, construct, install, clean repair and maintain in good working order the facilities in or upon the said land; and recover the costs of any such works from the proprietor.
- d. The registered proprietor shall indemnify the Council and any adjoining land owners against damage to their land arising from failure of any component of the facilities.

The applicant shall bear all costs associated with the preparation of the 88E Instrument. The wording of the Instrument shall be submitted to, and approved by Council prior to lodgement at the Land and Property Information office. Evidence that the Instrument has been registered at the Land and Property Information office shall be submitted to Council, **prior to issuing of an Occupation Certificate.**

116. The pump system is only permitted for the drainage of the basement areas where the finished slab is below the ground level. The following conditions are to be satisfied:
- a. A pump and rising main design shall be submitted to the Principal Certifying Authority and shall satisfy the following conditions:
 - (i) The holding tank for the pump shall be capable of storing runoff from a one hour, 1 in 100 year ARI storm event.
 - (ii) The pump system shall consist of two (2) pumps, connected in parallel, with each pump being capable of emptying the holding tank at a rate equal to the lower of the allowable on site detention

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discharge rate, or the rate of inflow for the one hour duration storm.

- (iii) An overflow, flashing light and audible alarm are to be provided, to warn of pump failure.
 - (iv) Full details of the holding tank, pump type, discharge rate and the delivery line size are to be documented.
 - (v) Any drainage disposal to the street gutter, from a pump system must have a stilling sump provided at the property line, and connected to the street gutter by a suitable gravity line.
 - (vi) The capacity of the stilling sump and outlet pump shall be determined and verified by calculations which are to be documented.
- b. Pumping system details shall be submitted to Council or an Accredited Certifier - Civil Engineering, **prior to the issuing of a Construction Certificate.**
 - c. The applicant shall submit written evidence to the Principal Certifying Authority that a contract has been let for the regular maintenance of the pumping system for a minimum period of 12 months. Information to be submitted to the Principal Certifying Authority **prior to issuing of an Occupation Certificate.**
117. All activities and works external to the site, or that affect public roads, are to be carried out in accordance with Council's Policies including but not limited to the Works on Council's Road Reserve Assets Policy, Rubbish Skips Policy, Work Zone Policy and Temporary Road Closure (Including Standing Plant) Policy.
118. A road-opening permit shall be obtained for all works carried out on public or Council controlled lands. Restoration of landscaping, roads and paths shall be carried out by Council at the applicant's expense in accordance with Council's Schedule of Fees and Charges. The applicant or any contractors carrying out works in public or Council controlled lands shall have public liability insurance cover to the value of \$20 million, and shall provide proof of such cover to the Principal Certifying Authority prior to carrying out the works. Please see Burwood Council's web site www.burwood.nsw.gov.au - Go to Development/Working on Footpaths or Roadways?/Works on Council Property (Application Form).
119. Spoil and building materials shall not be placed, stored, thrown or caused to fall on any public roadway or footpath. Waste containers shall be placed in accordance with Council's Rubbish Skips Policy. Contact Council for a list of approved skip bin suppliers.

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120. The builder is to ensure footpaths and roads affected by construction works are kept safe and prevent any damage to Council property. The builder shall erect and maintain where necessary approved hoardings, barricades, warning signs and night warning lamps to ensure public safety. Pedestrian access across the footpath must be maintained at all times.
121. The following matters shall apply to the damage deposit listed in the Table of Fees:
- a. This deposit is refundable if no damage occurs. Any damage caused will be repaired at Council's restoration rates, at the applicant's expense. All or part of the deposit will be forfeited to cover damage to Council's property during the course of demolition and/or construction.
 - b. Council will carry out two inspections of the Council's footpath, kerb and gutter, stormwater drainage system and roadway, prior to works commencing and at the completion of all work covered by this consent. Council is aware that damage may be caused by individual contractors that culminate in the damage inspected at Council's final inspection. The applicant is responsible for attributing any part of the damage to their individual contractors. Council will not refund any part of a damage deposit until the completion of the work covered by this consent.
122. The following matters apply to the construction of the proposed vehicular crossing listed in the Table of Fees:
- a. A vehicular crossing 6 m wide to Woodside Avenue shall be constructed by the Applicant/Council at the applicant's cost.
 - b. The cost of any necessary adjustments to public utility services is not included, and shall be paid by the applicant to the relevant authority prior to Council commencing the work.
 - c. The driveway shall be 1m clear of any pits, lintels, poles and 2m clear of trees in the road reserve.
 - d. All redundant vehicular crossings shall be removed and replaced with kerb and gutter and footpath at no cost to Council.
123. Internal driveway levels shall be designed and constructed to conform with existing footpath and road profiles such that vehicles are not damaged while accessing the property. Council footpath and road profiles will not be altered for this purpose.
124. Stormwater from all roof and paved surfaces shall be collected and discharged by means of a gravity pipe to Council's street drainage system.
125. The applicant is to have prepared a longitudinal section of the proposed vehicular ramp access, drawn at 1:25 natural scale.
- a. The longitudinal section shall be prepared by a competent practicing civil engineer in accordance with AS 2890.1.

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- b. The design is to be reviewed by Council or an Accredited Certifier - Civil Engineering **prior to the issuing of a Construction Certificate.**
- 126.
 - a. Temporary measures shall be provided during demolition, excavation and/or construction to prevent sediment and polluted waters discharging from the site.
 - b. An erosion and sediment control plan showing such measures shall be prepared by a competent practicing hydraulic/civil engineer in accordance with Supplement 10 of Council's Stormwater Management Code.
 - c. The erosion and sediment control plan is to be reviewed by Council or an Accredited Certifier - Civil Engineering **prior to the issuing of a Construction Certificate.**
- 127. All demolition and excavation materials are to be removed from the site or disposed off site using methods that comply with relevant environmental protection legislation.
- 128. Vehicles removing demolished materials from the site shall access and depart from the site through Woodside Avenue and The Boulevard. Vehicles involved in removing materials from the site shall be limited to an 8 tonne gross weight per axle.
- 129. All excavations and backfilling associated with the erection or demolition of a building shall be carried out in a safe and careful manner and in accordance with appropriate professional standards. All necessary piling, planking and strutting shall be of sufficient strength to retain the sides of excavations.

A Compliance Certificate verifying the suitability of Structural details of proposed piling, shoring etc. are to be submitted to the Principal Certifying Authority **before commencement of excavation.**
- 130. All excavations associated with the erection or demolition of the building are to be properly guarded and protected to prevent them from being dangerous to life or property.
- 131. Where soil conditions require it:
 - a. retaining walls must be provided so as to prevent soil movement;
and
 - b. adequate provision must be made for drainage.
- 132. If an excavation associated with the erection or demolition of a building extends below any level of the base of the footings of a building or other structure on an adjoining allotment of land, the person causing the excavation to be made:

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- a. must preserve and protect the building or other structure from damage and rectify any damage caused by any such excavation, and
 - c. if necessary, must underpin and support the building or other structure in an approved manner, and
 - d. must, at least 7 days before excavation below the level of the base of the footings of a building or other structure on an adjoining allotment of land, give notice of intention to do so to the owner of the adjoining allotment of land and furnish particulars of the excavation to that owner.
133. The owner of the adjoining allotment of land is not liable for any part of the cost of work carried out for the purposes of this condition, whether carried out on the allotment of land being excavated or on the adjoining allotment of land.

Allotment of land includes a public road, public school and any other public place.

i.If the work involved in the erection or demolition of a building:

- a. is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
- b. involves the enclosure of a public place,

a hoarding or fence must be erected between the work site and the public place.

If necessary, an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place.

The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place.

Any such hoarding, fence or awning is to be removed when the work has been completed.

- ii.No opening is to be made in any road or footpath, nor is any hoarding to be erected without the prior consent of Council. The builder is to obtain the relevant permit for which fees will be charged in accordance with Council's Schedule of Fees and Charges.
- iii.The builder shall erect and maintain in good order all necessary hoardings, barricades and warning signs required to provide adequate public safety. Night warning lamps are to be provided where necessary.
- iv.Public roads to be kept clean and free of any material which may fall from vehicles or plant. Waste containers shall be placed in accordance with Council's Code for Activities Affecting Roads and are subject to the payment of appropriate fees.

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- v. Heavy vehicles entering and leaving the site must only cross the footpath where it is adequately timbered and strapped. Pedestrian access across this footpath must be maintained in good order at all times during the excavation work.
 - vi. The On-Site-Detention (OSD) system shall be placed on the ground floor and top water level of the storage shall be 300mm lower than the habitable floor level. An emergency overflow weir shall be designed and incorporated with the OSD tank.
 - vii. The IFD Rainfall Data for OSD design shall be used for Burwood as mentioned in Supplement 3 of Stormwater Management Code.
 - viii. Steel RHS across footpath shall be maximum 75mm high to have adequate concrete cover on footpath and kerb.
134. Engineering drawings addressing the above issues shall be provided for Council's review even if Council is not selected as the PCA.

LANDSCAPING

135. Tree Protection
 The existing cut-leaf plane tree (*Platanus 'Digitata'*) located within the public footpath, on Burwood Road, is required to be retained and protected in accordance with AS4970 (Protection of Trees on Development Sites, 2009).
136. The new awning on the Burwood Road frontage must be constructed to be sympathetic to the existing street tree allowing a 1 metre minimum clearance of the trunk. A monetary bond or bank guarantee to the value of \$2,000 is required to be paid to Council to ensure the proper protection of the tree for the duration of the works. The tree will be inspected by Council staff at the completion of the works and the bond released only if the tree is not damaged.
137. The plan of the proposed new Ø375mm RCP pipeline on Woodside Ave shall be further detailed with long section, cross section together with the position of any underground services that might be encountered along the line. A concrete encased pipe section shall be provided if the top cover on the pipe is less than 500mm.

~~138. Landscaping to be installed as per the Landscape Plan by Discount Landscape Plans (Drawing Number L/01, Revision B) dated 22.11.2021.~~

(Condition 138 above has been DELETED by this Section 4.55 modification application, dated 27 March 2025).

139. Landscaping to be completed **prior to the issuing of an Occupation Certificate.**

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140. Landscaping to be maintained at all times following installation, including replacement of any plants that are dead, damaged, unhealthy or stolen, with like for like.

MISCELLANEOUS & ADDITIONAL CONDITIONS

141. This modified consent shall not impinge upon any right or entitlement of any surrounding property that has interest in the existing Right of Carriageway over the subject land.
142. *A modified landscape plan (inclusive of specifications and details) prepared by a qualified landscape architect must be submitted for the rooftop communal open space. The plan must be prepared by a qualified landscape architect and incorporate a diverse range of plant species suitable for a rooftop garden and include perimeter plantings to enhance privacy and the amenity of the rooftop. The landscape plan must be submitted to the Principal Certifier, prior to the issue of a Construction Certificate.*

(Condition 142 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

143. *Ceiling fans be installed within all living rooms and bedrooms of the residential apartments where practicable.*

Reason: To increase the sustainability of the building and to achieve design excellence.

(Condition 143 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

144. *Accessibility Compliance Report, Issue B, dated 4/12/21 prepared by Access Link Consulting shall be amended to reflect the modified proposal, and be submitted to the Principal Certifier prior to the issue of a Construction Certificate.*

(Condition 144 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

145. *Stormwater Drawing No's. D01, D02, D03, D04 & D05 Issue A dated 26/11/21 prepared by United Consulting Engineers, shall be amended to reflect the modified proposal, and be submitted to the Principal Certifier prior to the issue of a Construction Certificate.*

(Condition 145 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

Our Ref: BD.2016.021
Enquiries: A. SIM
Page 32 of 32

- 146. *The substation shall be appropriately screened and not be readily visible from the public domain. The screening shall incorporate artwork to enhance its appearance. Amended architectural plans complying with this requirement are to be submitted to the Principal Certifier, prior to the issue of a Construction Certificate.***

(Condition 146 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

- 147. *Doors to the ground floor gas meter and fire hydrant/sprinkler/booster shall not open over the public domain. Amended architectural plans complying with this requirement are to be submitted to the Principal Certifier, prior to the issue of a Construction Certificate.***

(Condition 147 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

- 148. *The external finish of the ground floor residential entry to Woodside Avenue shall be updated to visually distinguish its appearance from other ground floor doorways. Amended architectural plans complying with this requirement are to be submitted to the Principal Certifier, prior to the issue of a Construction Certificate.***

(Condition 148 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

- 149. *No bins are to be stored on the street. An updated Waste Management Plan is to be submitted to Council for approval, prior to the issue of a Construction Certificate.***

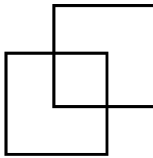
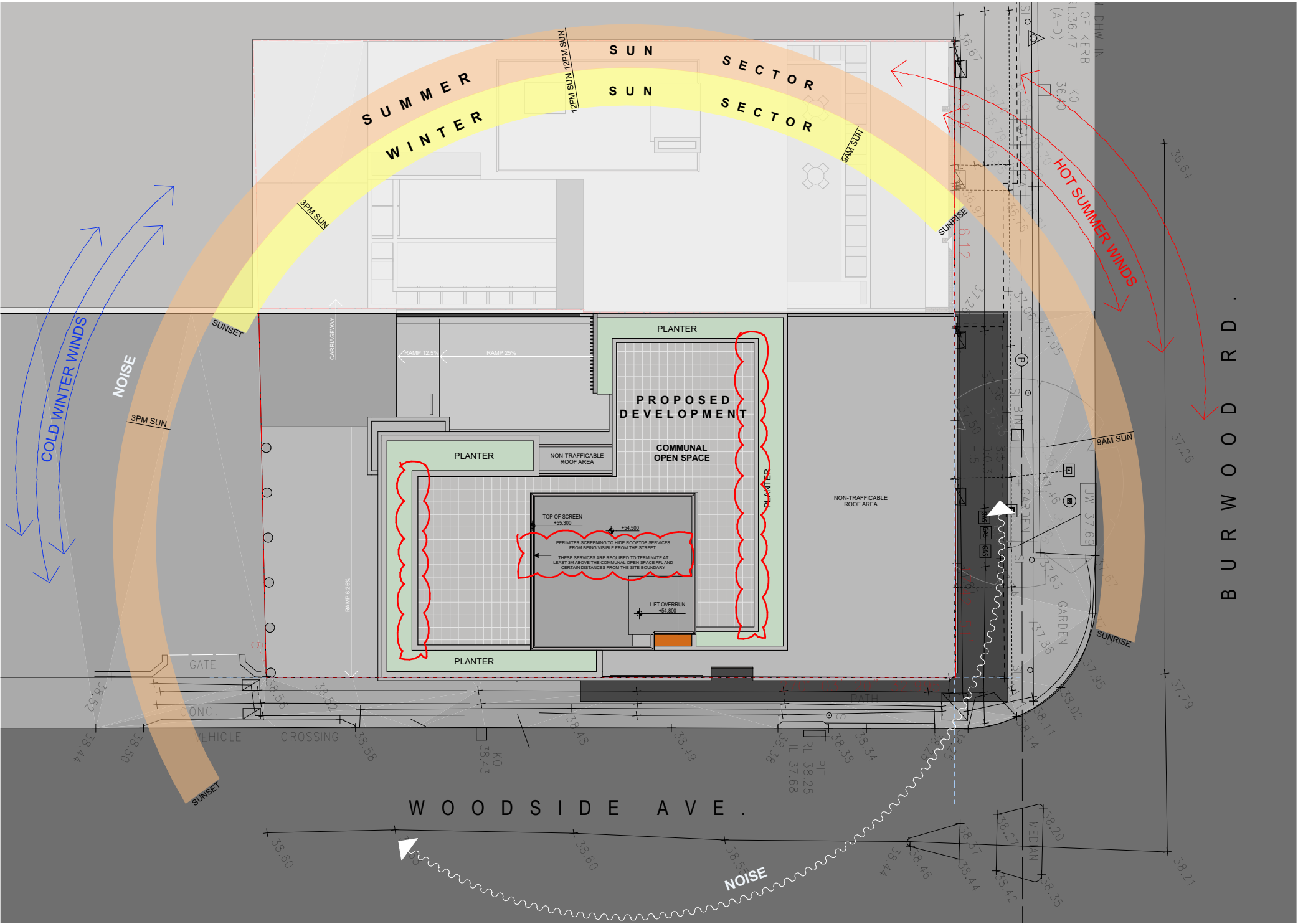
(Condition 149 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

- 150. *The east-facing door at rooftop communal open space level that is adjacent to the lift entrance is to be deleted, so that is not an enclosing wall. Amended architectural plans complying with this requirement are to be submitted to the Principal Certifier, prior to the issue of a Construction Certificate.***

(Condition 150 above has been ADDED by this Section 4.55 modification application, dated 27 March 2025).

END OF CONDITIONS

CONTRACTOR TO CONFIRM ALL UNDERGROUND SERVICES BEFORE COMMENCING WORKS REGARDLESS OF INFORMATION PROVIDED HEREIN.



URBAN LINK
ARCHITECTS

Nominated Architects:
Georges Jreije Reg no 10993
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197-199a BURWOOD RD. BURWOOD
197-199a BURWOOD ROAD, BURWOOD NSW

Drawing Title
SITE ANALYSIS

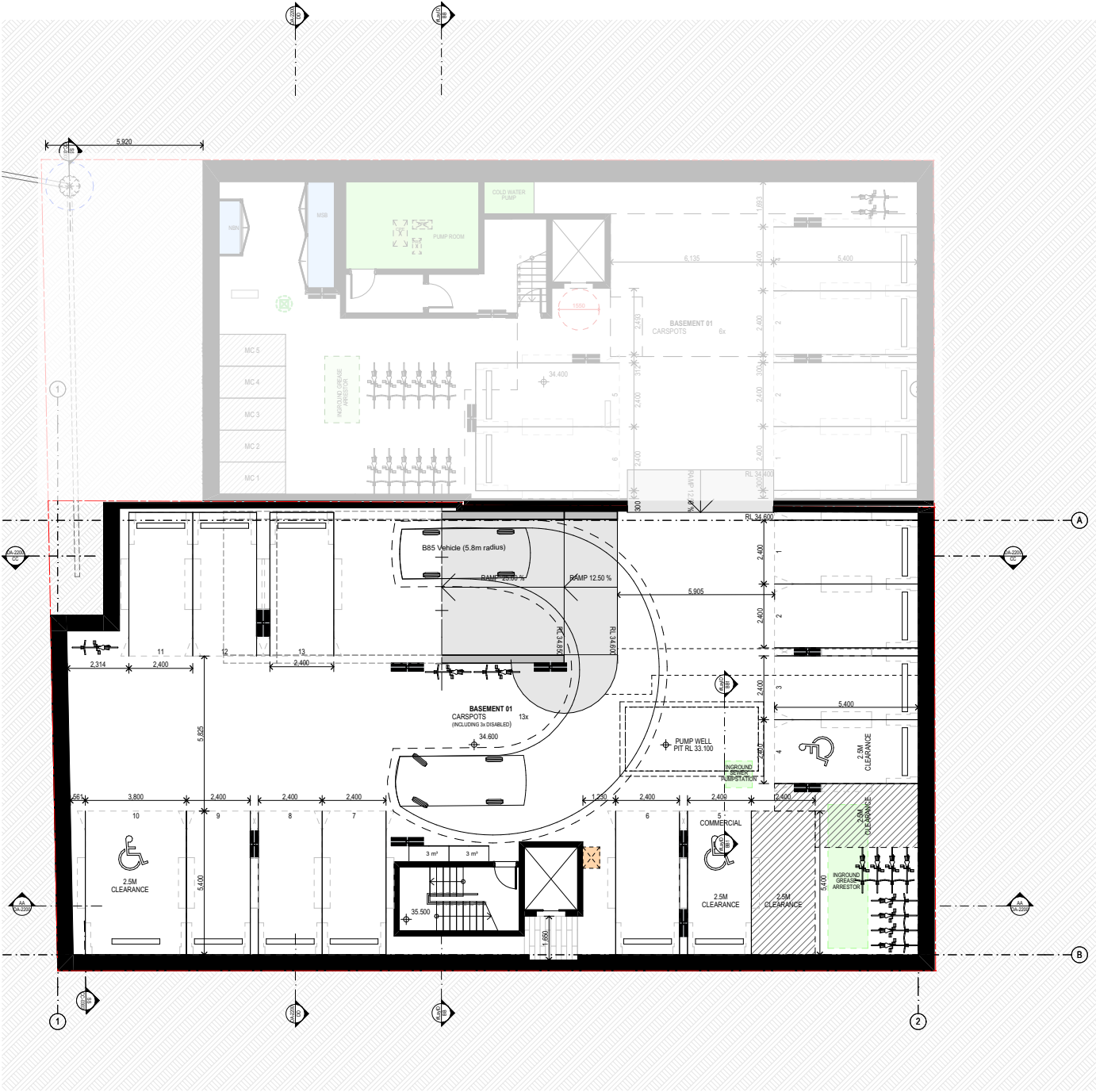
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B	DA AMENDMENTS	22.08.16
C	DA AMENDMENTS	12.10.16
D	S4.55 MODIFICATION	15.01.21
E	S4.55 MODIFICATION	17/06/2024
F	S4.55 MODIFICATION	26/02/2025



Scale	Project Number	Drawing Number	Revision
1:200 @A3 Sheet Size	12-009	DA-0002	F

26/02/2025

CONTRACTOR TO CONFIRM ALL UNDERGROUND SERVICES BEFORE COMMENCING WORKS REGARDLESS OF INFORMATION PROVIDED HEREIN.



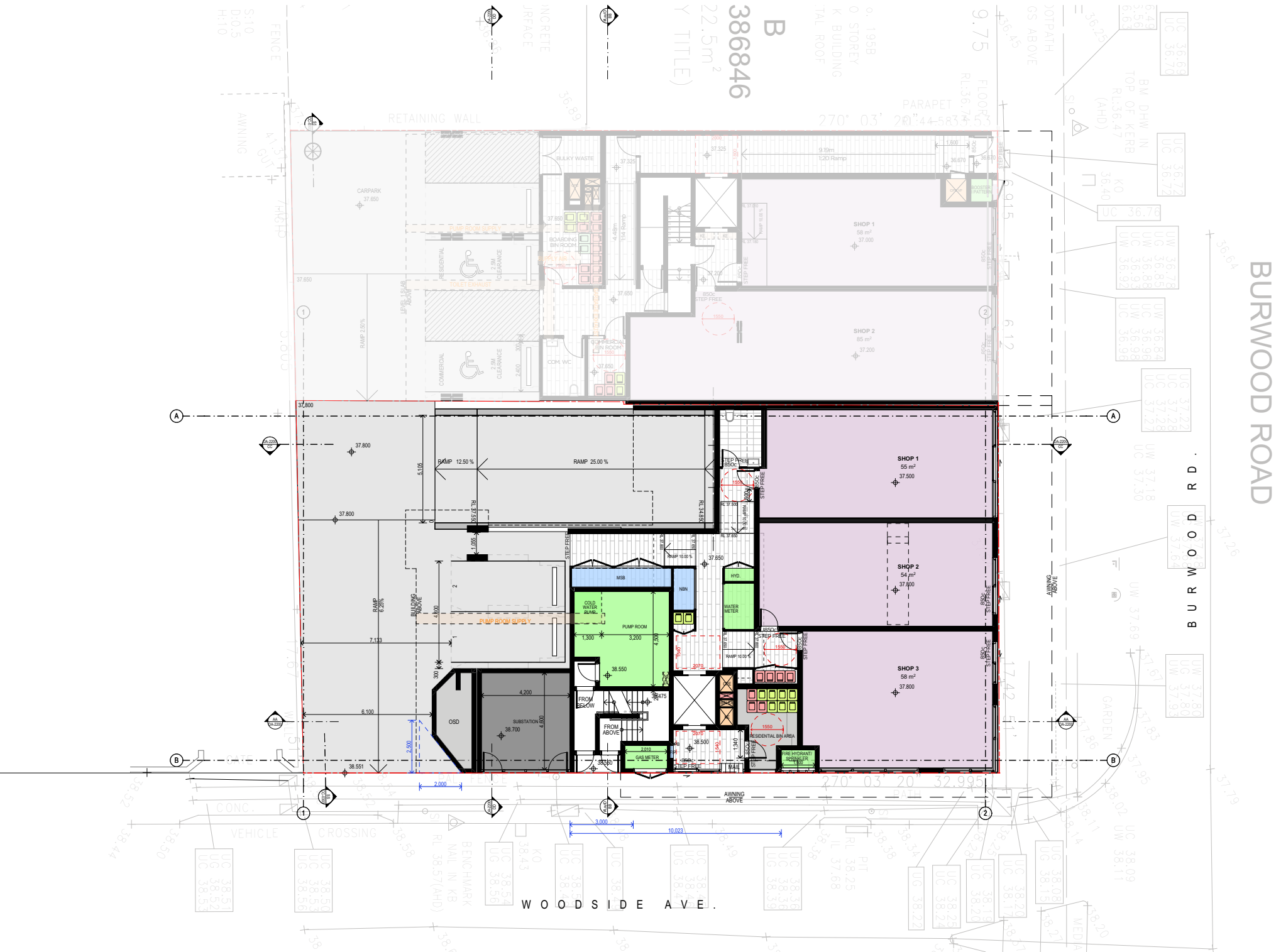
BASEMENT 01
SCALE 1:200

Issue	Amendment	Date
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B	DA AMENDMENTS	22.08.16
C	DA AMENDMENTS	12.10.16
D	S4.55 MODIFICATION	15.01.21
E	S4.55 MODIFICATION	17/06/2024
F	S4.55 MODIFICATION	26/02/2025

Scale	Project Number	Drawing Number	Revision
1:200 @A3 Sheet Size	12-009	DA-2000	F



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GROUND GF
SCALE 1:200



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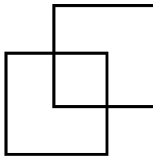
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B	DA AMENDMENTS	22.08.16				
C	DA AMENDMENTS	12.10.16				
D	S4.55 MODIFICATION	15.01.21				
E	S4.55 MODIFICATION	17/06/2024				
F	S4.55 MODIFICATION	26/02/2025				

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LEVEL 1
SCALE 1:200



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ARCHITECTS

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197-199a BURWOOD RD. BURWOOD
197-199a BURWOOD ROAD, BURWOOD NSW

Drawing Title
FIRST FLOOR PLAN

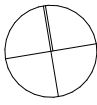
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B	DA AMENDMENTS	22.08.16
C	DA AMENDMENTS	12.10.16
D	S4.55 MODIFICATION	15.01.21
E	S4.55 MODIFICATION	17/06/2024
F	S4.55 MODIFICATION	26/02/2025

Scale
1:200 @A3 Sheet Size

Project Number
12-009

Drawing Number
DA-2002

Revision
F



26/02/2025

CONTRACTOR TO CONFIRM ALL UNDERGROUND SERVICES BEFORE COMMENCING WORKS REGARDLESS OF INFORMATION PROVIDED HEREIN.



LEVEL 2
SCALE 1:200

Issue	Amendment	Date
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B	DA AMENDMENTS	22.08.16
C	DA AMENDMENTS	12.10.16
D	S4.55 MODIFICATION	15.01.21
E	S4.55 MODIFICATION	17/06/2024
F	S4.55 MODIFICATION	26/02/2025

Scale	Project Number	Drawing Number	Revision
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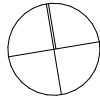


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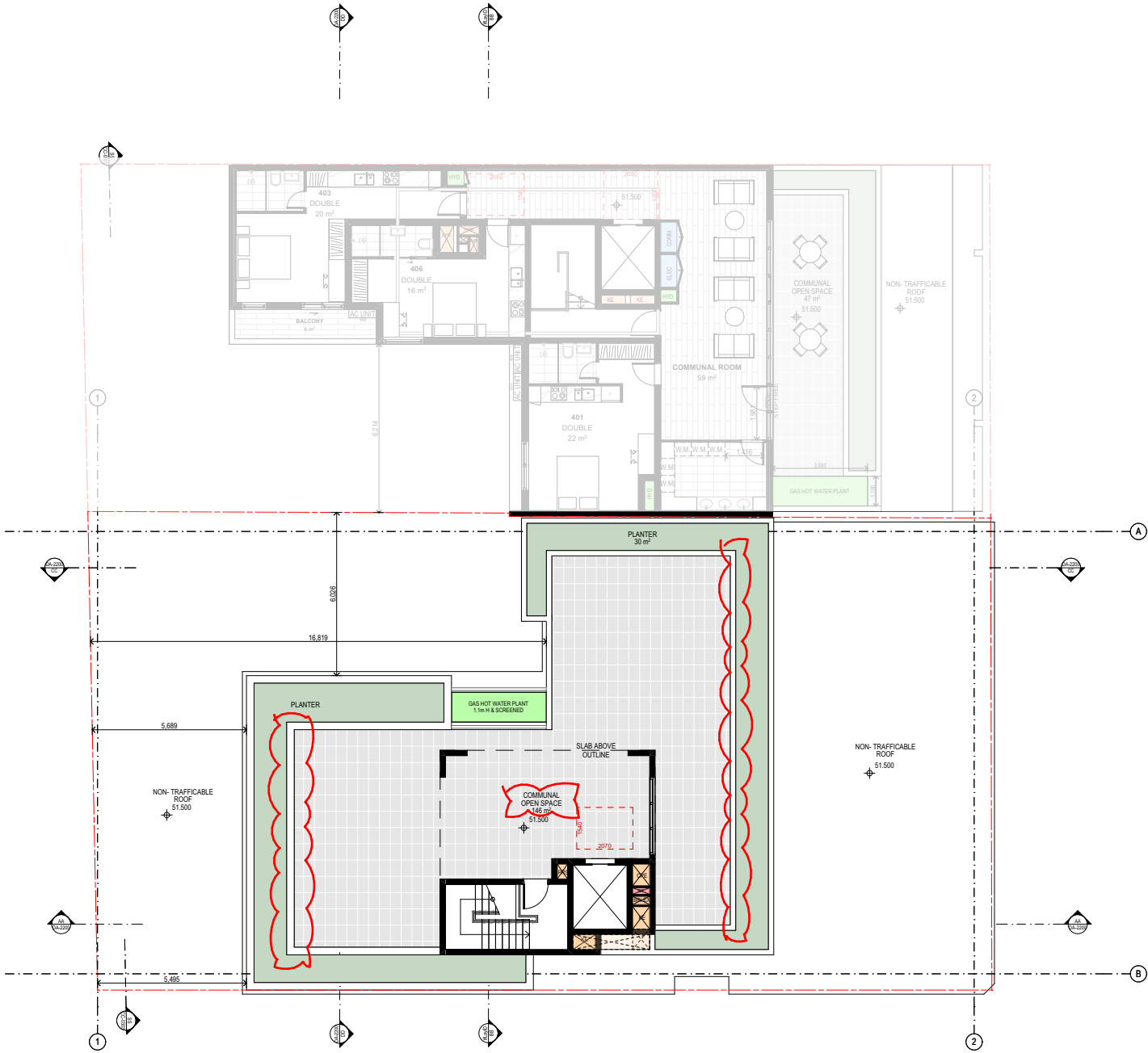


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B	DA AMENDMENTS	22.08.16
C	DA AMENDMENTS	12.10.16
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E	S4.55 MODIFICATION	17/06/2024
F	S4.55 MODIFICATION	26/02/2025

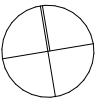


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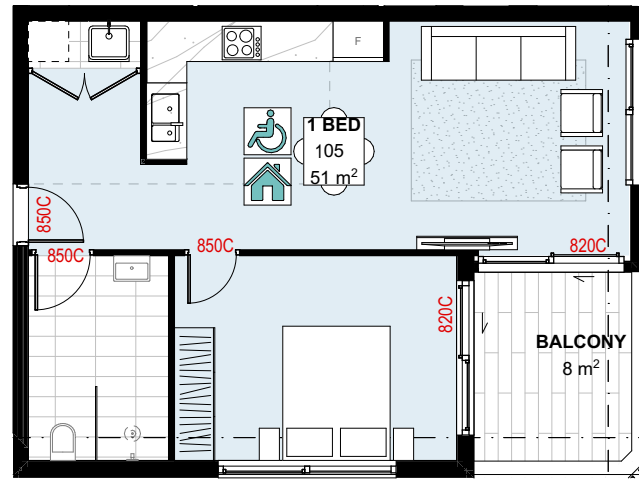


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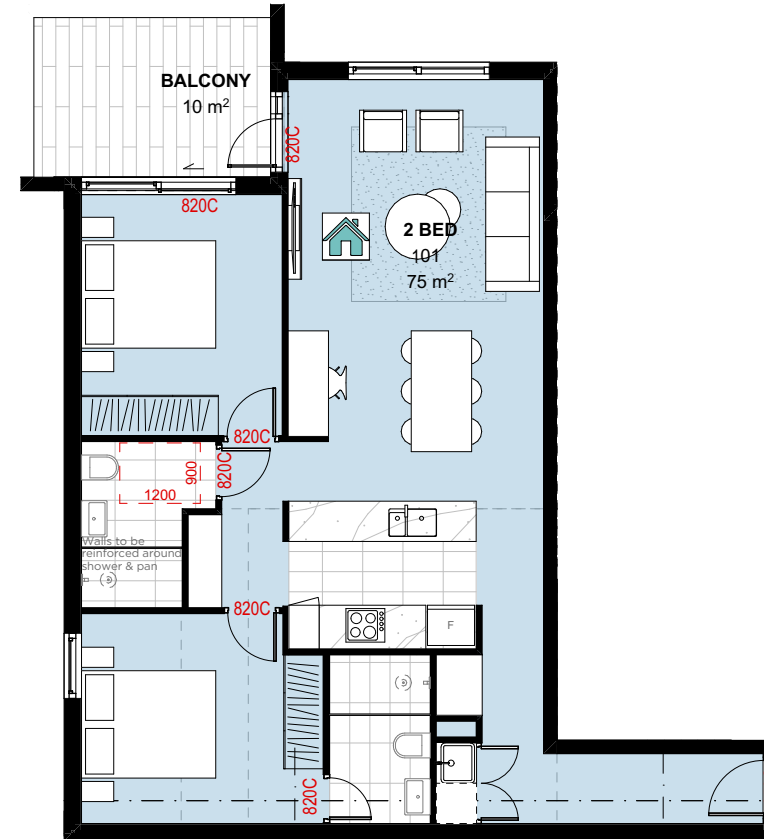
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C	DA AMENDMENTS	12.10.16
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E	S4.55 MODIFICATION	17/06/2024
F	S4.55 MODIFICATION	26/02/2025



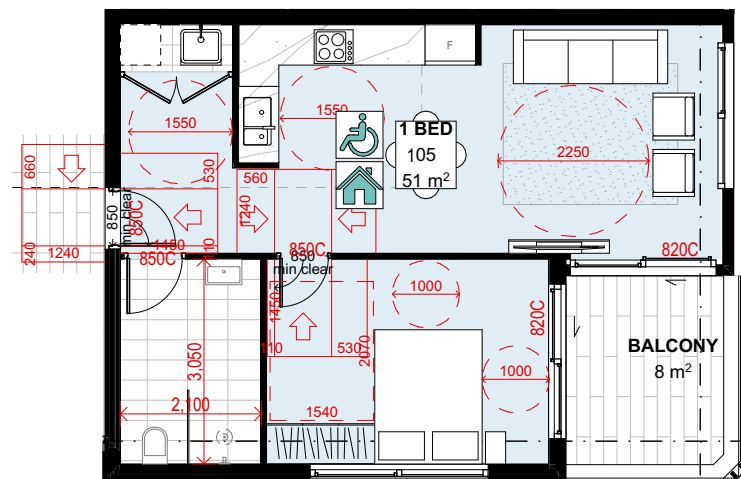
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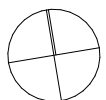
LIVABLE & PRE ADAPTABLE - UNIT 105 & 205
SCALE 1:100



LIVABLE - UNIT 101
SCALE 1:100



LIVABLE & POST ADAPTABLE - UNIT 105 & 205
SCALE 1:100



Architectural Plans



EAST ELEVATION
SCALE 1:200



SOUTH ELEVATION
SCALE 1:200



WEST ELEVATION
SCALE 1:200



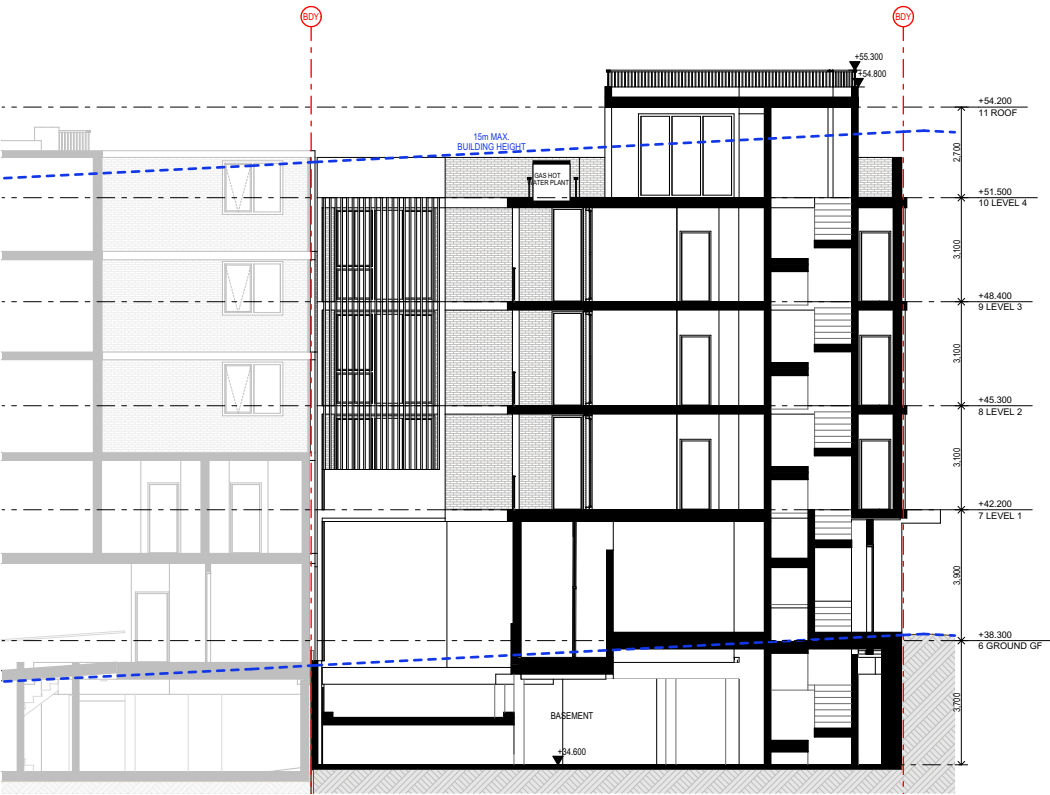
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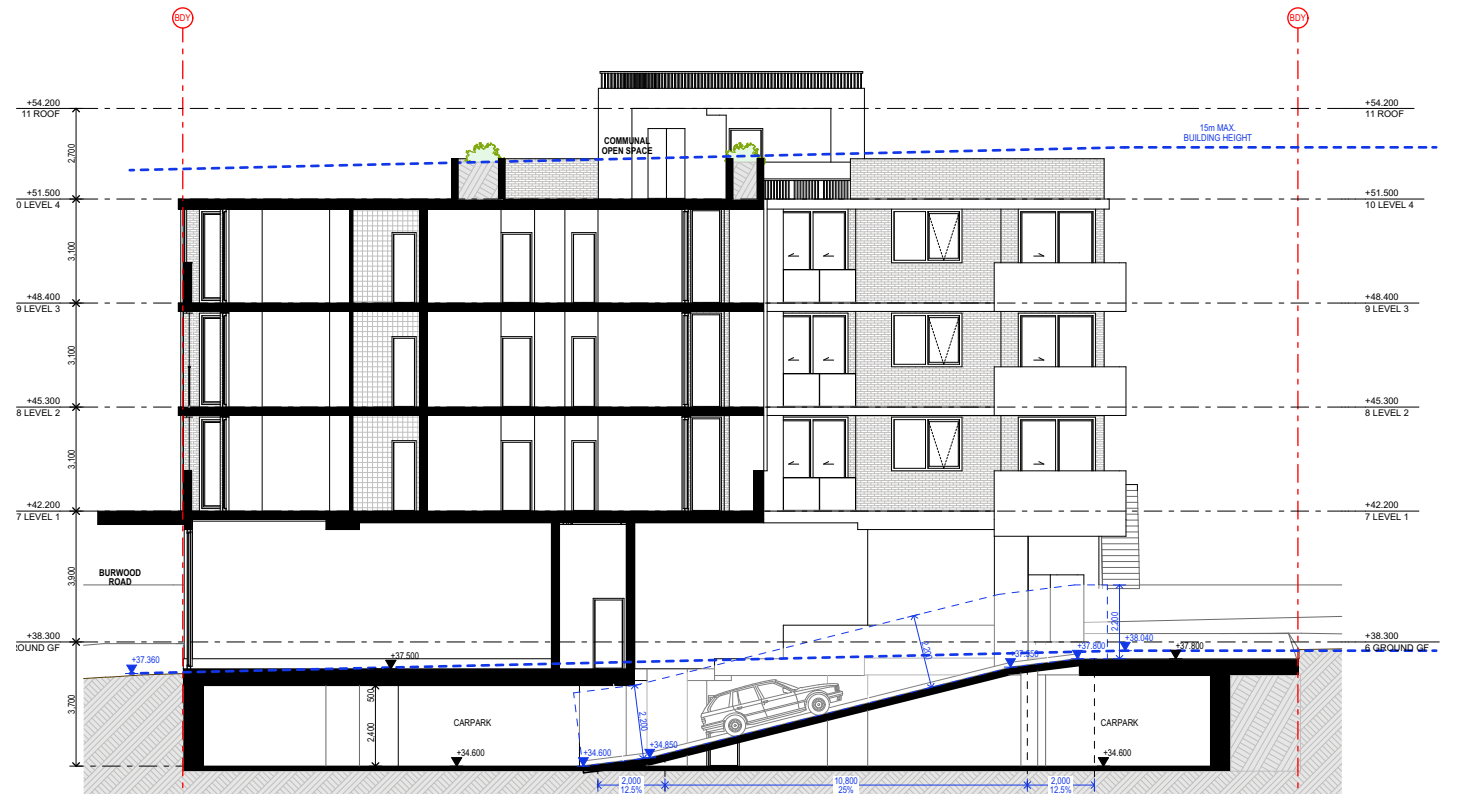
Architectural Plans



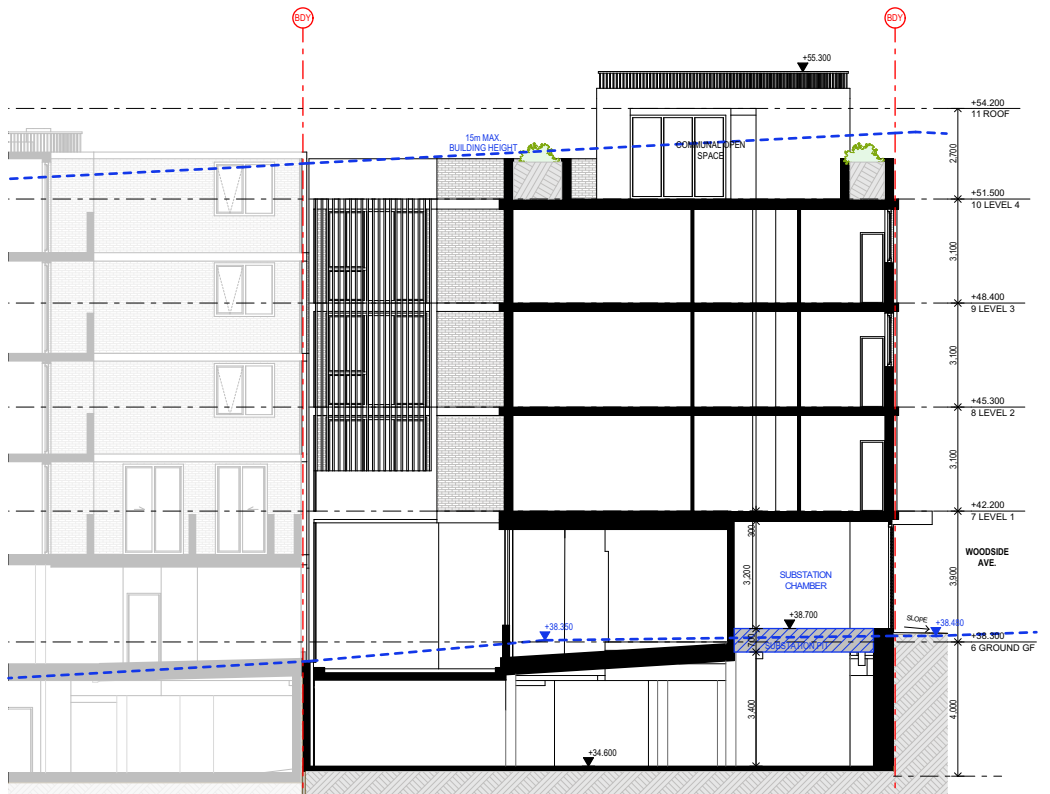
SECTION AA
SCALE 1:200



SECTION BB
SCALE 1:200

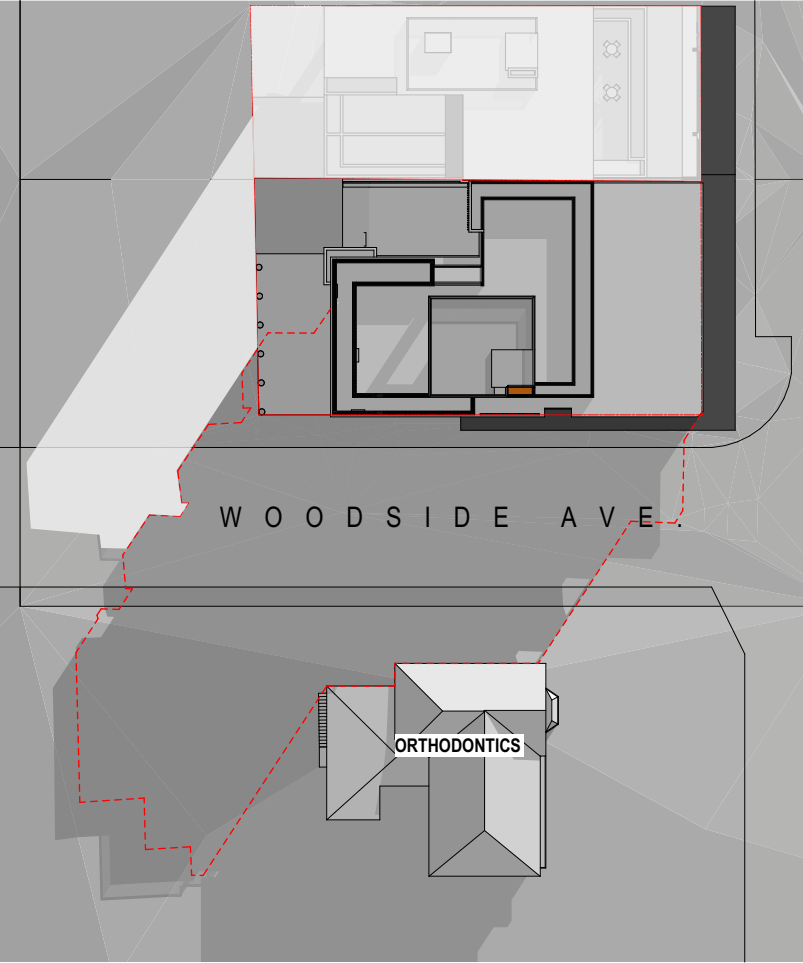


SECTION CC
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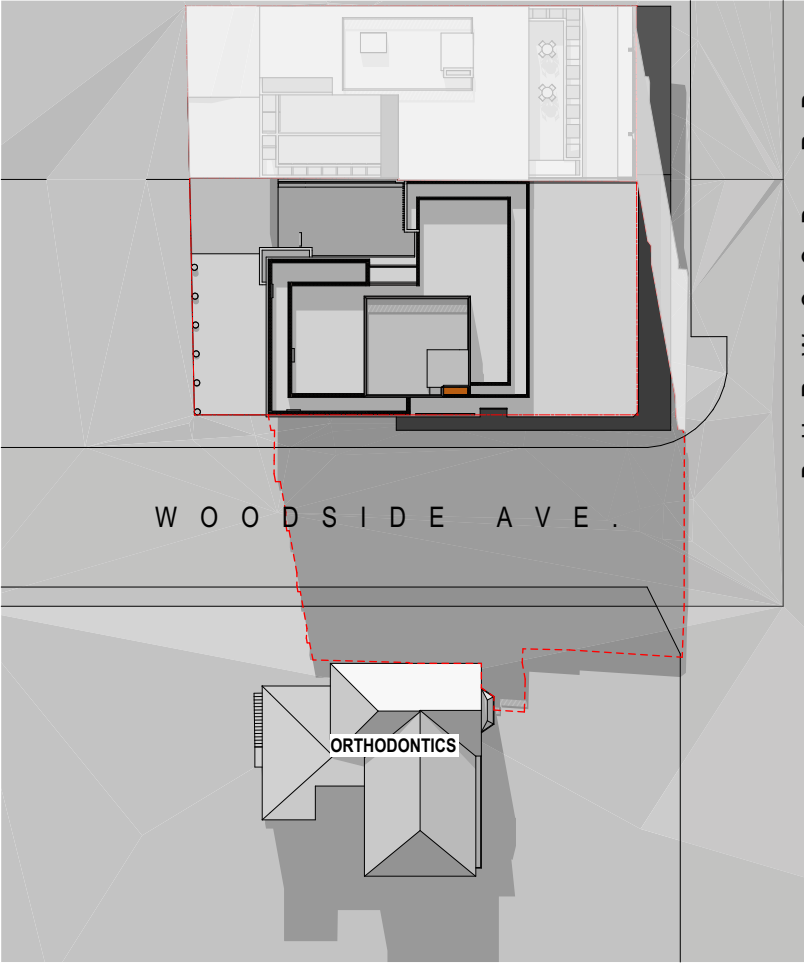


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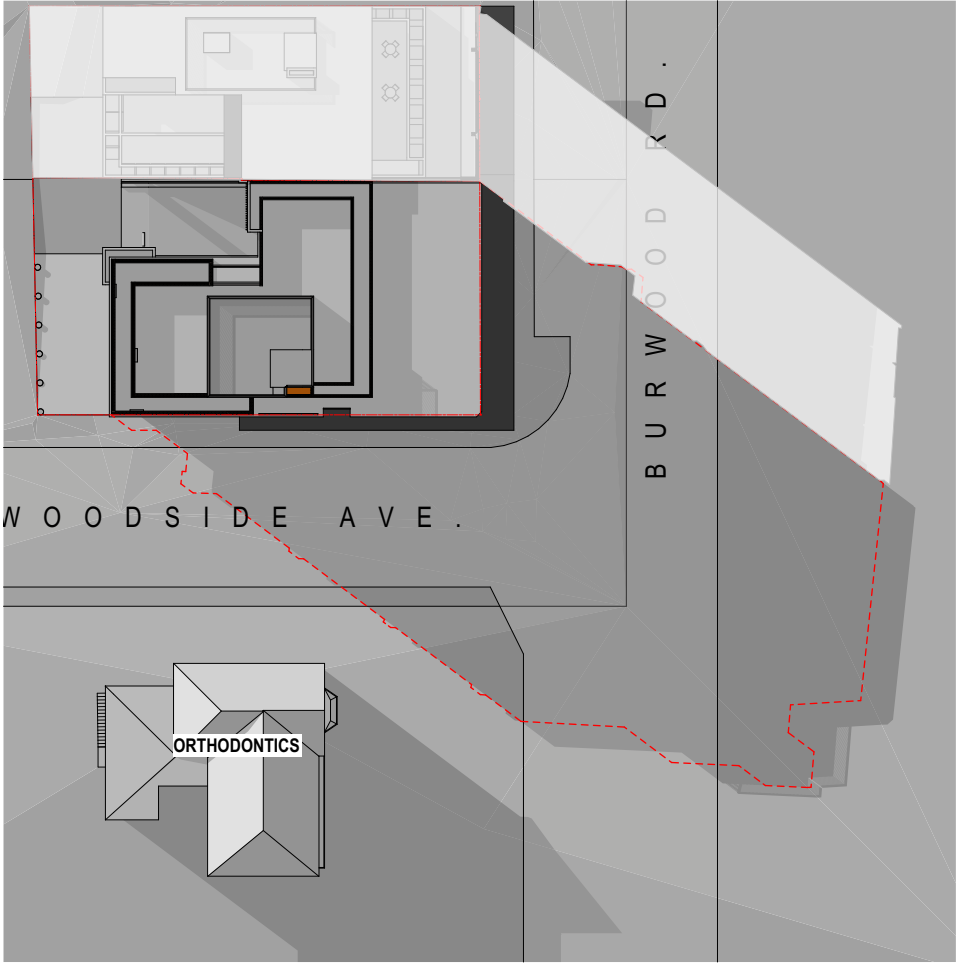
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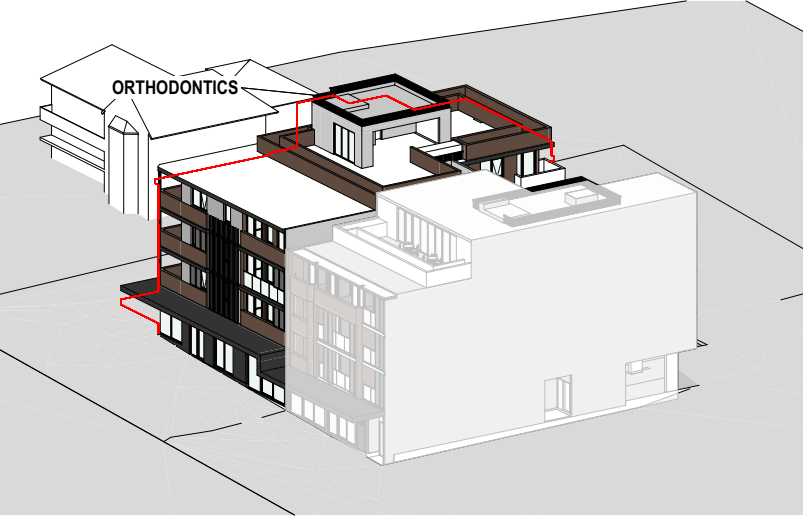
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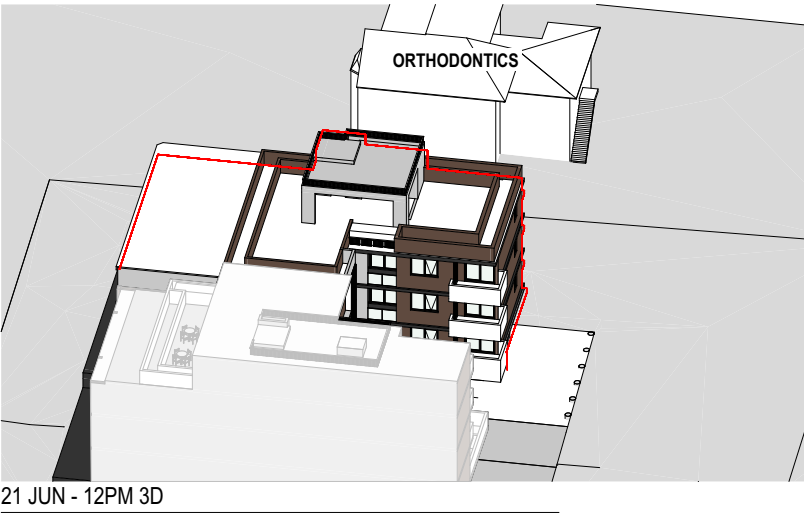
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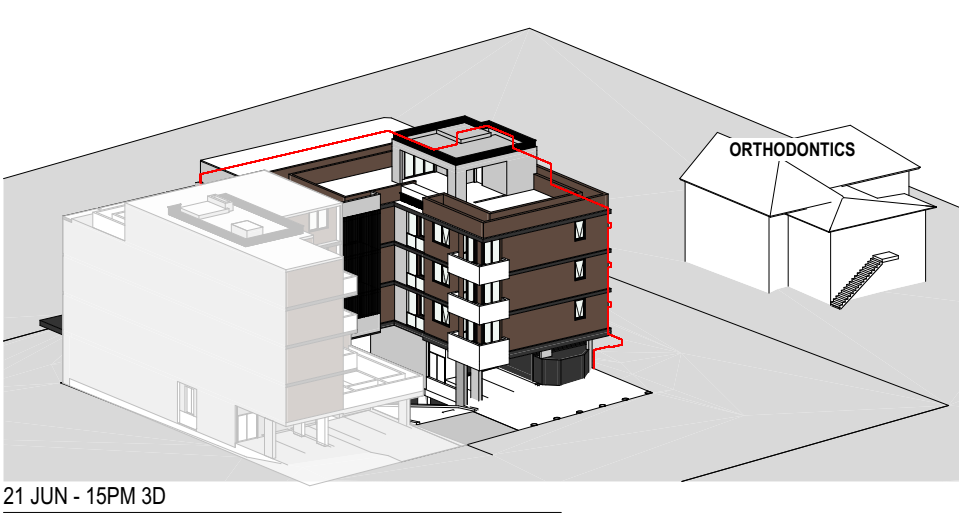
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SCALE 1:500



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SCALE 1:500



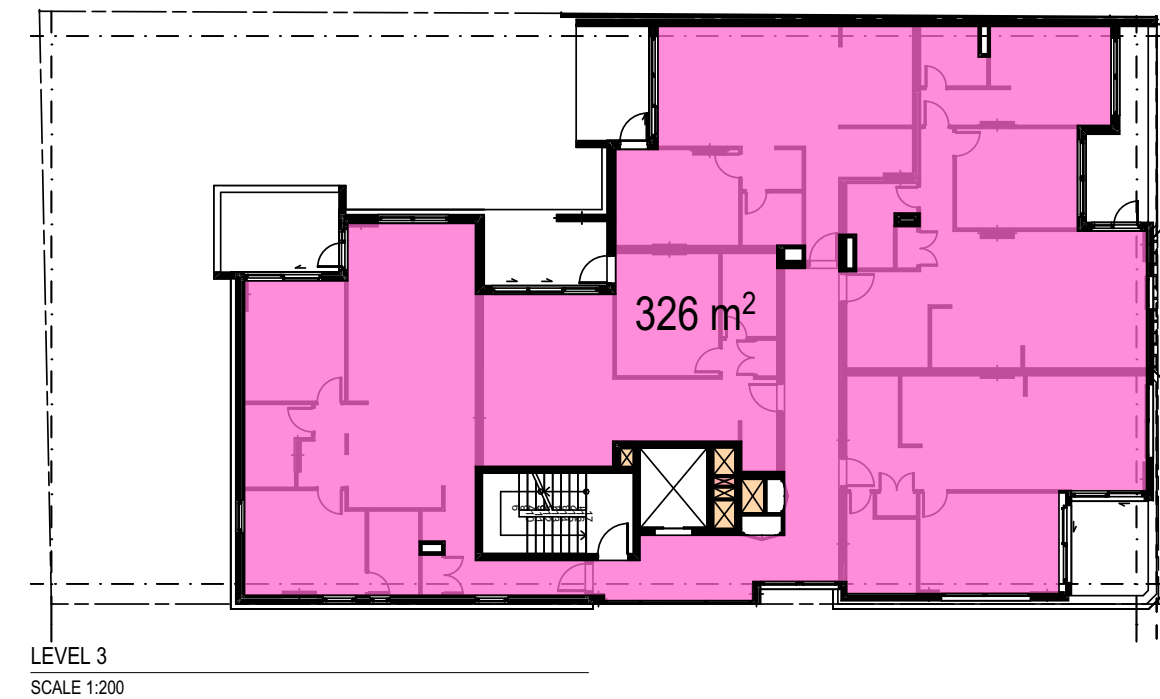
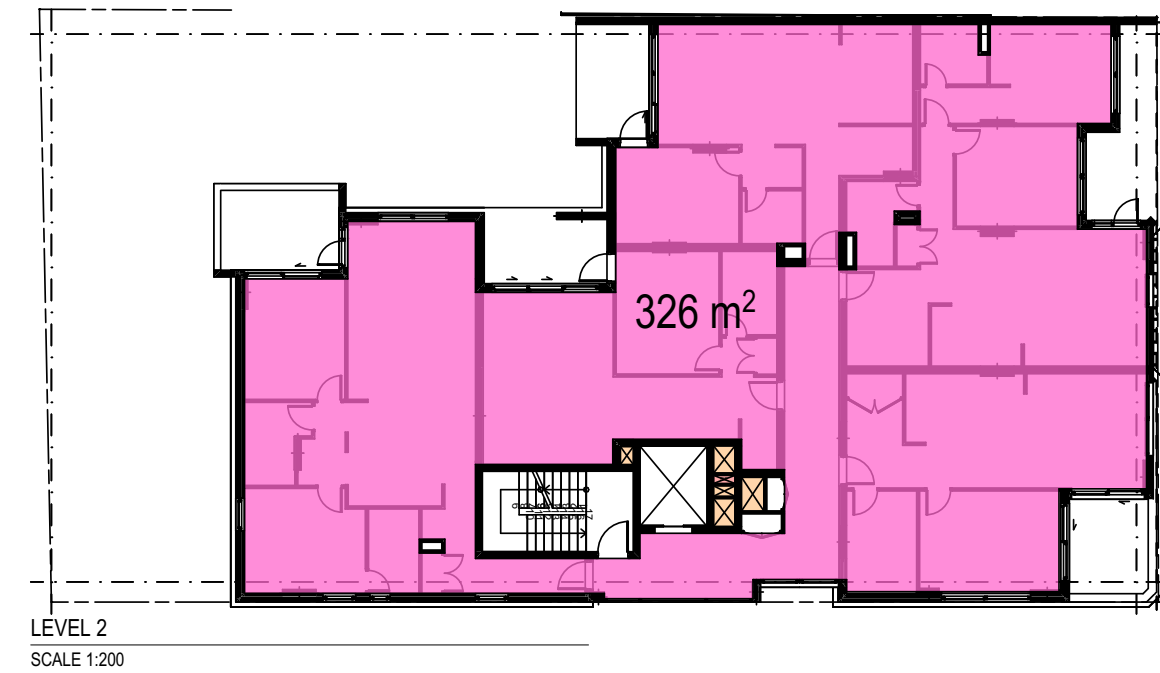
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Issue	Amendment	Date
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F	S4.55 MODIFICATION	26/02/2025





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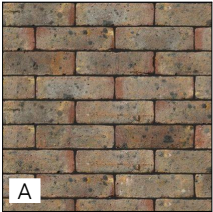
CONTRACTOR TO CONFIRM ALL UNDERGROUND SERVICES BEFORE COMMENCING WORKS REGARDLESS OF INFORMATION PROVIDED HEREIN.



SCHEDULE OF EXTERNAL MATERIALS & FINISHES FOR PROPOSED MIXED USE DEVELOPMENT AT 199A BURWOOD ROAD, BURWOOD ,NSW

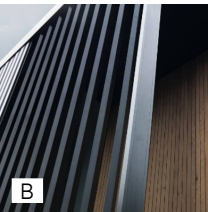


A



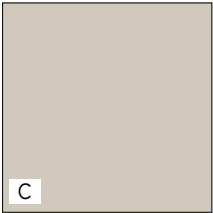
BROWN STOCK-PRESSED BRICK OR SIMILAR

B



VERTICAL FIXED LOUVRES
GREY COLOR

E



DULUX
WHITE DUCK A216
OR SIMILAR

D



GLASS BALUSTRADE
TRANSLUCENT-WHITE

C

F



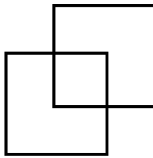
GREY ALM FRAMED
WINDOWS & DOORS
OR SIMILAR

F



FINISH
DULUX - MONUMENT

COLOURS ARE INDICATIVE ONLY AND MAY VARY DUE TO AVAILABILITY



URBAN LINK
ARCHITECTS

Nominated Architects:
Georges Jreije Reg no 10993

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197-199a BURWOOD RD. BURWOOD
197-199a BURWOOD ROAD, BURWOOD NSW

Drawing Title
FINISH SCHEDULE

Issue	Amendment	Date
A	ISSUED FOR DA APPROVAL	05.01.16
B	DA AMENDMENTS	22.08.16
C	DA AMENDMENTS	12.10.16
D	\$4.55 MODIFICATION	15.01.21
E	\$4.55 MODIFICATION	17/06/2024
F	\$4.55 MODIFICATION	26/02/2025

Scale

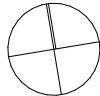
@A3 Sheet Size

Project Number
12-009

Drawing Number
DA-4003

Revision
F

26/02/2025





SECTION 4.55(2)

STATEMENT OF ENVIRONMENTAL EFFECTS

Section 4.55(2) Application to modify DA21/2016

199A Burwood Road, BURWOOD

Prepared for: Creative Vision

OUR REF M240061

5 June 2024





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1. Introduction & Background

We act on behalf of the Applicant to modify Development Consent DA21/2016 for '*demolition and erection of a four storey mixed use development comprising 15 units, 3 commercial tenancies and basement car park*' at No. 199 Burwood Road, Burwood.

The original Development Consent DA21/2016 was issued on 22 November 2016.

A modification of DA21/2016 was approved on 20 June 2022 for an '*increase in the floor to floor height to 3.1m on Levels 1 to 3 and an increase in the height of the fire stairs and lift overrun on the roof top terrace and to modify materials and finishes*'.

Development Consent DA133/2018 for '*demolition of existing site structures and the construction of a 5 storey mixed use development with ground floor commercial and a boarding house containing 25 rooms including managers room and basement and ground level parking for 14 vehicles*' was approved on the adjoining site at 197-197A Burwood Road, Burwood. DA133/2018 relies upon DA21/2016 for access and egress to the basement as well as access and egress to at-grade parking and back-of-house elements.

Some of the changes sought with this modification application also require a concurrent modification of DA133/2018. A separate and concurrent modification application for DA133/2018 has been lodged.

Pursuant to Section 4.55(2), it is proposed to modify the development approved with DA21/2016 to make minor adjustments to the internal layout, floor to floor height of the ground floor level, adjustment to levels of the basement ramp and adjustments for accessible paths of travel. These adjustments are the result of design refinements to engineered slabs and columns and provision of services including the requirement for an electrical substation.

There are no changes proposed to the approved building envelope, materials and finishes or landscaping. The change to floor to floor heights at ground floor level will slightly increase overall building height and gross floor area will increase by 1.5m².

The purpose of this Statement is to address the planning considerations associated with the modified proposal and specifically to assess the likely impact of the development on the environment in accordance with the requirements of Sections 4.55 and 4.15 of the EP&A Act.

2. Site Description

The subject site has a street address of 199A Burwood Road, Burwood. The legal identification of the site is Lot 102 in Deposited Plan 702115. The site is located on the north west corner of the intersection of Burwood Road and Woodside Avenue. An aerial photo of the site and surrounds is included in Figure 1.

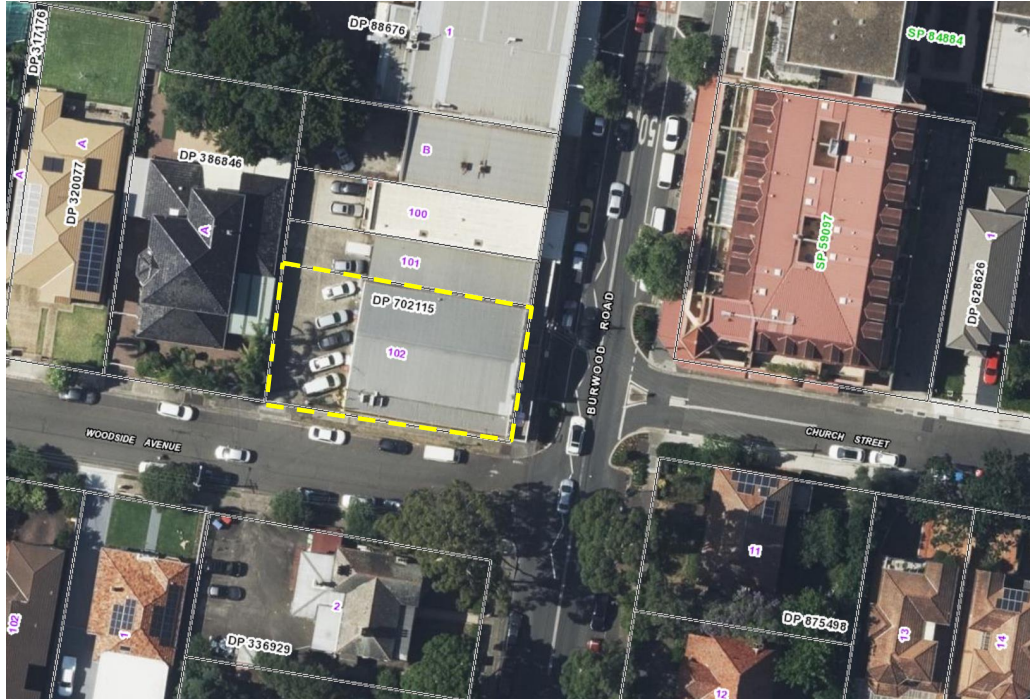


Figure 1: Aerial photograph of subject site outlined dashed yellow (Source www.maps.six.nsw.gov.au)

The site is a regular shape with the primary frontage to Burwood Road and secondary frontage to Woodside Avenue. The total site area is 581.4m².

The site is flat. The existing building on the site is a single storey commercial building with at-grade parking at the rear accessed via Woodside Avenue.

To the west of the site is a part one and part two storey dwelling with a driveway and attached garage adjacent to the shared boundary.

To the north of the site is No.197-197A Burwood Road which contains a single storey commercial building and at grade parking at the rear which is accessed via the subject site.

The site is at the southern end of the Burwood Road local commercial centre.

To the south of the site are residential properties.

3. Details of Proposed Modification

Pursuant to Section 4.55(2), it is proposed to modify the approved development by way of changes to Condition 4 of DA21/2016 which lists the approved plans and supporting documents.

Condition 4 currently states as follows:

Item Number DA4/25 - Attachment 3

Statement of Environmental Effects

4. Section 4.55 Architectural plans (~~as amended~~) received by Council prepared by Urban Link Architecture dated 15/12/21, Drawing Nos:
- DA-0001, Issue C D – ~~Location Plan~~ Cover Sheet.
 - DA-0002, Issue C D – Site Analysis
 - DA-2000, Issue C D – Basement
 - DA-2001, Issue C D – Ground Floor Plan
 - DA-2002, Issue C D – ~~First Floor Plan~~ Level 01
 - DA-2003, Issue C D – ~~Second Floor~~ Level 02
 - DA-2004, Issue C D – ~~Third Floor~~ Level 03
 - DA-2005, Issue C D – Roof Terrace
 - DA-2006, Issue D – Pre & Post Adaptable/Liveable Units
 - DA-2100, Issue C D – Elevations
 - DA-2200, Issue C D – Sections
 - DA-3000, Issue C D – Shadow Studies
 - DA-4001, Issue C D – GFA Calculations
 - DA-4003, Issue C D – Schedule of Finishes.
- (Section 4.55 Application dated 20/6/22)
- ~~• Landscape Plan prepared by Discount Landscape Plans (Drawing No. L/01, Revision A0 received by Council 24 February 2016 and dated 4/12/15 Proposed Landscape Plan – Roof L/01 Issue B dated 22/11/21 prepared by Discount Landscape Plans.~~
- (Section 4.55 Application dated 20/6/22)
- ~~BASIX Certificate No. 699143M dated 22 February 2016~~ Revised BASIX Certificate No. 699143M_02 dated 04/12/21 prepared by Greenworld Architectural Drafting
(Section 4.55 Application dated 20/6/22)
 - Traffic and Parking Assessment Report, prepared by Varga Traffic Planning P/L, dated 12 January 2016 Ref: 15764.
 - Geotechnical Desk Top Study: prepared by STS GeoEnvironmental P/L dated November 2015 and received by Council 2 February 2016.
 - Section 4.55 Statement of Environmental Effects dated 6/12/21 prepared by Planning Ingenuity
(Section 4.55 Application dated 20/6/22)
 - Stormwater Drawing No's. D01, D02, D03, D04 & D05 Issue A dated 26/11/21 prepared by United Consulting Engineers.
(Section 4.55 Application dated 20/6/22)
 - Quantity Survey Report dated 01/22/21 prepared by Construction Consultants for Section 4.55 Application
(Section 4.55 Application dated 20/6/22)
 - Accessibility Compliance Report for Section 4.55 Application Issue B dated 4/12/21 prepared by Access Link Consulting.
(Section 4.55 Application dated 20/6/22)

Specifically it is requested that Condition 4 is modified to state as follows:

*"Section 4.55 Architectural Plans prepared by Urban Link Architects Project No.12-009 Revision E dated 17/06/2024
Drawing Numbers:*

DA-0001 Rev E Cover Sheet

DA-0002 Rev E Site Analysis

DA-2000 Rev E Basement Plan

DA-2001 Rev E Ground Floor Plan

DA-2002 Rev E Level 01 Plan

DA-2003 Rev E Level 02 Plan

DA-2004 Rev E Level 03 Plan

DA-2005 Rev E Roof Terrace

DA-2006 Rev E Adaptable / Liveable Layouts

DA-2100 Rev E Elevations

DA-220 Rev E Sections

DA-3000 Rev E Shadow Studies

DA-4001 Rev E GFA Calculations

DA-4002 Rev E Finishes Schedule

- *Proposed Landscape Plan – Roof L/01 issue B dated 22/11/21 prepared by Discount Landscape Plans*
- *Revised BASIX Certificate No: 1754281, prepared by Gradwell Consulting, dated 4 July 2024*
- *Traffic and Parking Assessment Report prepared by Varga Traffic Planning P/L dated 12 January 2016 Ref:15764*
- *Geotechnical Desk Top Study prepared by STS GeoEnvironmental P/L dated November 2015 and received by Council 2 February 2016*
- *Section 4.55 Statement of Environmental Effects dated 6/12/21 prepared by Planning Ingenuity*
- *Section 4.55 Statement of Environmental Effects dated 6/06/2024 prepared by Planning Ingenuity*
- *Stormwater Drawing No's D01, D02, D03, D04 and D05 Issue A dated 26/11/21 prepared by United Consulting Engineers*
- *Quantity Survey Report dated 01/22/21 prepared by Construction Consultants for Section 4.55 Application*
- *Accessibility Compliance Report for Section 4.55 Application Issue B dated 4/12/21 prepared by Access Link Consulting"*

It is understood that Council may modify other conditions for updated adjustments to levies, fees, contributions and charges.

The specific modifications to the development are listed below along with a justification for the changes. These changes are also listed in the schedule of amendments by Urban Link Architects dated 24 May 2024.

DA-0001 Cover Sheet:

- amendments to development data.

DA-0002 Site Analysis:

- change to RLs on all levels above ground floor to accommodate increase in slab thickness as recommended by detailed engineering design.

DA-2000 Basement Plan:

- increase the width of the vehicle ramp to achieve swept path compliance with AS2890.1 and ensure compatibility with basement design on adjoining site (DA133/2018)
- fire stair and lift core minor adjustment to position to improve design of residential lobby (see Ground Flood Plan comments)
- Commercial car space relocated from at-grade ground floor level to basement

DA-2001 Ground Floor Plan:

- Inclusion of electrical substation based on services load demand calculations and approvals sought from electricity provider. Due to corner location and no vehicle access for maintenance on Burwood Road frontage, substation must be located within the south west corner of the building
- Rationalising of accessible ramps

- Accessible threshold to lobby requires adjustment to RLs
- Improvements to the design and layout of residential entry lobby with inclusion of glazing for direct line of sight to the street, adjustments to the position of the fire stair and lift core which will setback the lift overrun and stair access from the southern edge of the building at roof level. Increased the size of the awning to improve weather protection to the lobby doorway
- Essential services added

DA-2002 Level 01 Plan:

- Support columns added as required by engineering design detail
- Essential services added
- Minor façade changes
- Stair and lift core adjusted northward (related to improvements in the lobby design)
- Minor adjustments to layout of Units 101 and 102 to accommodate for lift and stair core change
- Increased depth of balcony for Unit 104
- Adjustment to layout of Unit 105 to achieve adaptable / accessible design requirements

DA-2003 Level 02 Plan:

- Support columns added as required by engineering design detail
- Essential services added
- Minor façade changes
- Stair and lift core adjusted northward (related to improvements in the lobby design)
- Minor adjustments to layout of Units 201 and 202 to accommodate for lift and stair core changes
- Increase depth of balcony for Unit 204
- Adjustment to layout of Unit 205 to achieve adaptable/accessible design requirements

DA-2004 Level 03 Plan:

- Support columns added as required by engineering design detail
- Essential services added
- Minor façade changes
- Stair and lift core adjusted northward (related to improvements in the lobby design)
- Minor adjustments to layout of Units 301 and 302 to accommodate for lift and stair core changes
- Increase depth of balcony for Unit 304
- Adjustment to layout of Unit 305 to achieve adaptable/accessible design requirements

DA-2005 Roof terrace

- Stair and lift core adjusted northward (related to improvements in lobby design) and lift overrun and stair access less visible above the roofline
- Essential Services added
- Additional glazing to protect lift opening from stormwater and weather exposure

DA-2006 Adaptable / Liveable Layouts:

- Units 105 and 205 adaptable (instead of Unit 102) to accommodate for adjustments to the lift and stair core
- Liveable Unit 101 bathroom door opening changed to achieve accessibility standards

DA-2100 Elevations:

- Ground floor level floor to floor height increased by 1100mm to account for additional concrete slab thickness recommended by detailed engineering design
- Lift and stair core adjusted
- Façade improvements including improvements to lobby design
- Window adjustments responding to changes in unit internal layouts (as a result of accommodating for adjustment to lift and stair core)

DA-220 Sections:

- Ground floor level floor to floor height increased by 1100mm to account for additional concrete slab thickness recommended by detailed engineering design
- Basement floor level increased by 200mm to match the access ramp and connectivity with adjoining development DA133/2018
- Lift and stair core moved northward to improve design of lobby

DA-3000 Shadow Studies:

- 1100mm increase in overall building height to accommodate ground level floor to floor changes and basement changes requires new representation of shadow diagrams

4. Statutory and Policy Compliance

4.1 SECTION 4.55

Section 4.55 of the EP&A Act contains provisions relating to the modification of a development consent. Sub-clause (2) relates to 'other modifications' and states the following:

"(2) Other Modifications

A consent authority may, on application being made by the applicant or any other person entitled to act on a consent granted by the consent authority and subject to and in accordance with the regulations, modify the consent if:

- (a) it is satisfied that the development to which the consent as modified relates is substantially the same development as the development for which consent was originally granted and before that consent as originally granted was modified (if at all), and*
- (b) it has consulted with the relevant Minister, public authority or approval body (within the meaning of Division 4.8) in respect of a condition imposed as a requirement of a concurrence to the consent or in accordance with the general terms of an approval proposed to be granted by the approval body and that Minister, authority or body has not, within 21 days after being consulted, objected to the modification of that consent, and*
- (c) it has notified the application in accordance with:*
 - (i) the regulations, if the regulations so require, or*
 - (ii) a development control plan, if the consent authority is a council that has made a development control plan that requires the notification or advertising of applications for modification of a development consent, and*
- (d) it has considered any submissions made concerning the proposed modification within the period prescribed by the regulations or provided by the development control plan, as the case may be."*

Section 4.55(3) of the EP&A Act states that in determining an application for modification of a consent under this section, the consent authority must take into consideration such of the matters referred to in section 4.15(1) as are of relevance to the development the subject of the application. The consent authority must also take into consideration the reasons given by the consent authority for the grant of the consent that is sought to be modified.

Assessment of the proposed modification against the relevant provisions of Section 4.55(2) is provided in section 4.2 of this Statement, and against the relevant provisions of Section 4.15(1) in section 4.3 of this Statement.

4.2 SUBSTANTIALLY THE SAME DEVELOPMENT

The proposed modifications described at Section 3 of this Statement and illustrated in the accompanying architectural plan set will result in a development that is substantially the same as the development for which consent was originally granted and the consent authority can therefore consider the application pursuant to Section 4.55(2) of the EP&A Act 1979.

In reaching this conclusion, we have been guided by the judgment handed down in *Moto Projects (No 2) Pty Ltd V North Sydney C [1999] NSWLEC 280* (17 December 1999), which outlines principles for determining whether a Section 4.55(2) application is 'substantially the same' as an originally issued development consent. The assessment of 'substantially the same' needs to consider qualitative and quantitative matters.

In terms of quantitative assessment, the development as modified in essence will be substantially the same to that which has been granted approval. The proposal will maintain the following approved components:

- The building footprint and setbacks from all boundaries remain unchanged from the approved development
- The height of the building increases by a total of 1100mm in order to accommodate basement levels that are coordinated with DA133/2018 and to accommodate concrete slab thicknesses required for the ground floor level. This increase is minor with consideration to the overall building height. The original approved height was 15.735m and the proposed amended height is 16.835m (that is, 6.9% increase)
- The development will appear the same as the approved when viewed from the streetscape and adjoining properties with minor improvements to the design of the ground floor lobby to achieve accessibility, improved lines of sight, weather protection and natural light.
- Total Gross Floor Area (GFA) provided by the proposal is materially the same to the approved development with a very minor increase in GFA of 1.5m². The floor space ratio remains 2:1.
- The proposal will not alter the number and size of apartments and will provide the same apartment mix and improve design for adaptable/liveable units
- The amount of private and communal open space will remain the same as the approved development with increased size to two balconies.
- The quantum of commercial floor space remains the same as the approved development
- The roof top terrace design will continue to provide privacy and amenity for future occupants and neighbouring properties with appropriate balustrade treatments and planting.
- The number of, and allocation of, car parking spaces remains the same as the approved development
- Overshadowing is similar to the approved development with slight increases in shadow cast to the front setback area of the residential property on the southern side of Woodside Avenue (which is used as an orthodontic surgery and does not have private open space or living rooms dependent upon solar access).

The core quantitative difference is the increase in building height which is essential for engineering purposes and achieving compatibility with DA133/2018 and an accessible lobby. The proposed increase in height is contextually insignificant and not considered to render the development as modified substantially different or radically transformed.

In terms of qualitative assessment, the development as modified will be similar for the following reasons:

- The proposal will not change the essence of the approved development, being fifteen (15) residential apartments on Levels 01, 02 and 03 and three (3) commercial tenancies on the ground floor level with parking in the basement and at-grade adjacent to the western façade of the building.
- In relation to building scale the proposal will remain as a 4 storey mixed use building, with no changes proposed to the building setbacks and footprint.
- Visually the form of the development remains the same as previously approved.
- Modifications to the ground floor to accommodate an engineered slab, improve the design of the residential lobby and accommodate the substation will slightly alter the building façade at the Woodside Avenue frontage. The new lobby/reception will have improved presentation to the street frontage and will not change the essence of the approved development when viewed within the streetscape.
- The internal layout changes and adjustments to windows are proposed to facilitate the adjustment to the lift and stair core to improve the lobby design and would not be readily noticeable from the adjoining properties or when viewed from the public domain by the casual observer.

- The internal layout changes do not impact the amenity of the approved apartments for future occupants and will improve compliance with accessible/liveable standards.
- Impacts on the adjoining properties will be the same since no changes are proposed to the approved building envelope and the overshadowing increase will impact on a property which is used for non-residential purposes and not dependent upon solar access for amenity.
- From each street frontage, the building will appear the same with car parking and pedestrian access points provided in the same locations, and retail tenancies presenting to an appropriate proportion of the street frontages.
- The proposal will not change the way the building will operate

On the basis of the foregoing, in qualitative terms, the modified development is substantially the same as the originally approved development. The proposal as modified is capable of complying with all operational conditions imposed under DA21/2016.

For the reasons explained above, the modifications proposed by this application are considered to result in a development that is substantially the same as the development for which consent was originally granted.

4.3 SECTION 4.15 ASSESSMENT

Section 4.55(3) requires consideration of Section 4.15(1)(a) of the EP&A Act, 1979 which is detailed as follows under the relevant subject headings.

4.3.1 State Environmental Planning Policy (Resilience and Hazards) 2021

State Environmental Planning Policy (Resilience and Hazards) 2021 (Resilience and Hazards SEPP) commenced on 1 March 2022, repealing and replacing three former SEPPs related to coastal management, hazardous and offensive development and remediation of land, including SEPP 55 (Remediation of Land).

The provisions of SEPP 55, which have now been transferred to the Resilience and Hazards SEPP, were considered in the assessment of the original development application, and the necessary investigations were undertaken to address the criteria of the Resilience and Hazards SEPP, specifically in relation to Chapter 3 Hazardous and Offensive Development. It was concluded that the site was suitable for the original development and the site continues to be suitable.

The proposed modifications do not alter the approved land uses, or their intensity and further assessment of the SEPP is not considered necessary.

4.3.2 State Environmental Planning Policy (Transport and Infrastructure) 2021

State Environmental Planning Policy (Transport and Infrastructure) 2021 (Transport and Infrastructure SEPP) commenced on 1 March 2022, repealing and replacing four former SEPPs related to infrastructure, transport, education and childcare, including SEPP (Infrastructure) 2007.

The relevant provisions of the SEPP (Infrastructure) 2007, which have been transferred to the Transport and Infrastructure SEPP, were considered in the assessment of the original development application. The proposed modifications do not alter any conclusions made in the original assessment.

4.3.3 State Environmental Planning Policy (Sustainable Buildings) 2022 [Section 4.15(2)]

State Environmental Planning Policy (Sustainable Buildings) 2022 came into effect on 1 October 2023, replacing and repealing the *State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004*.

In accordance with the provisions of the SEPP, a revised BASIX Certificate is submitted with the modification application and confirms that the development as modified (once operational) will comply with the water, thermal comfort and energy efficiency requirements of the Policy.

4.3.4 State Environmental Planning Policy (Housing) 2021 [Section 4.15(2)]

State Environmental Planning Policy (Housing) 2021 (Housing SEPP) commenced on 26 November 2021, repealing and replacing five former SEPPs related to housing, including the State Environmental Planning Policy (Affordable Rental Housing) 2009 (ARH SEPP) and more recently incorporated the provisions of State Environmental Planning Policy No.65 (Design Quality of Residential Apartment Development).

The proposed modifications do not change the manner in which the development complies with the provisions of Chapter 4 Design of Residential Apartment Development and the Apartment Design Guide.

Further assessment of the proposal against the Housing SEPP is not considered necessary since the proposal does not formally seek any changes to compliance.

4.3.5 Burwood Local Environmental Plan 2012 [Section 4.15(2)]

Under Burwood Local Environmental Plan 2012 (BLEP 2012), the subject site is within Zone MU1 Mixed Use. The development is characterised as a mixed use development comprising of *commercial premises* and *shop top housing* and land uses which are permissible with development consent in Zone MU1. The development as modified will continue to meet the objectives of Zone MU1 in that the proposal contributes to the mixture of compatible land uses, providing residential and commercial development, will generate employment opportunities, has active street frontages and improves the quality of the adjacent public realm for pedestrians, in an area that is highly accessible by a variety of transport modes.

The proposed modifications will increase the approved building height on the site and does not alter compliance with the floor space ratio standard of 2:1. The modified development complies with all other relevant provisions of the BLEP 2012.

With regard to building height, the increase of 1.1m (6.9%) remains consistent with the objectives for the building height development standard in Clause 4.3 to BLEP 2012 which are as follows:

“(a) to establish the maximum height of buildings to encourage medium density development in specified areas and maintain Burwood’s low density character in other areas,

(b) to control the potentially adverse impacts of building height on adjoining areas.”

Objective (a) does not apply because the site is not within or adjacent to an area of low density character.

The minor section of the lift overrun and stair access at rooftop level which exceeds the 15m height of buildings control will have no adverse effects on adjoining areas. As discussed above, the minor increase in shadow cast only affects a property to the south which is used as an orthodontics surgery and is not dependent on solar access for amenity.

The numeric height of buildings standard is 15m. The proposed building height is 16.835m and applies only to the lift overrun and fire stair access. A clause 4.6 variation for a minor non-compliance related to these same building features was supported with the original development application. This modification moves the lift shaft and stair core further northward away from the edge of the southern façade of the building. This amendment further reduces the visibility of the lift and stair overrun at rooftop level and lessens the visual impact of the small section of non-compliant building. The design change also improves the layout and function and amenity of the ground floor residential lobby. For these reasons the minor increase in the height of the lift and stair overrun is considered to be acceptable.

There are no further LEP provisions that require consideration as part of this modification application.

4.3.6 BURWOOD DEVELOPMENT CONTROL PLAN [Section 4.15(2)]

The site is subject to the controls and provisions contained within Burwood Development Control Plan (BDCP). The amendments proposed by this modification application are consistent with the relevant objectives and controls prescribed within Burwood DCP. Key development controls are addressed at **Table 1**.

Table 1 Ryde DCP 2014			
Clause		Proposed	Complies?
3.2 General Building Design Controls in Centres and Corridors			
3.2.8	Apartment mix and minimum dwelling size	No change	Yes
3.2.11	Floor to Ceiling Height		
	Ground floor in mixed use building minimum 3.3m	Increase in floor to ceiling height at ground floor level to accommodate adjustment to basement level for compatibility with DA133/2018 and to accommodate engineered concrete slab and achieve accessible lobby design. Proposed floor to floor height 3.5m.	Yes
3.2.15	Private open space	Increase in depth of balconies by 1m to Apartments 104, 204 and 304.	Yes
3.2.16	Lobbies and Internal Circulation All lobbies to have natural daylight, mail delivery and seating	Lobby design improved to achieve natural daylight, mail delivery and seating.	Yes
3.2.19	Access and Mobility Min. 10% adaptable housing	The ground floor slab and lobby amendments have been designed to improve accessibility of the lobby. Accessible ramps internally have been rationalised for more efficient use of space. Number of adaptable units is unchanged.	Yes

4.4 IMPACT OF PROPOSED MODIFICATION

4.4.1 Visual Impacts

The external appearance of the building will remain largely unchanged, and the development will retain the same building footprint, number of apartments and commercial tenancies and arrangement of uses on each level. The number of car parking spaces is unchanged. The proposed modifications will not alter the character of the development and there are minor changes to the facade. The modifications all result in significant improvements to the design, essential services provision, engineering compliance and amenity and functionality for future occupants.

The extent of the modifications proposed are minor and the streetscape appearance of the development will remain substantially the same as the approved development.

As such, there will be no significant changes to the visual impacts of the proposal and compatibility with neighbouring properties and the public realm.

4.4.2 Amenity Impacts

The proposal will not give rise to any additional adverse amenity impacts beyond the approved development or what is anticipated by development within the locality that is encouraged by the planning controls.



As outlined at Section 4.3.6 of this report, the development will continue to achieve a high level of compliance with the Housing SEPP Ch.4 and the Apartment Design Guide and will therefore create good levels of amenity for the future occupants.

4.4.3 Traffic and Parking Impacts

The proposal maintains the approved pedestrian and vehicular access to and from the approved development and maintains compatibility of vehicle access through to DA133/2018. As such, there are no changes to impacts in terms of traffic generation or parking.

5. Conclusion

The proposed modifications will result in a development that is substantially the same as that originally approved under development consent DA21/2016.

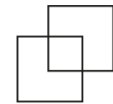
The proposal continues to be permissible with consent and satisfies the relevant requirements and/or objectives of the applicable environmental planning instruments. Furthermore, the development as modified is consistent with the relevant provisions of Burwood Development Control Plan. The modifications will not result in any adverse impacts in terms of visual, amenity, overshadowing, bulk, scale, accessibility or traffic and parking impacts.

Accordingly, we respectfully request that Council approve the modification of the development consent, as described within this application.



NOTE: The subject site address was previously known as 199A Burwood Road, but is now known as 199 Burwood Road.

This letter also contains information relating to the adjoining boarding house development at 197 Burwood Road which is subject to a separate development consent (DA No. 2018.133).



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13/01/2024

Executive Planner
Burwood Council

RE: **SECTION 4.55 APPLICATIONS TO MODIFY DEVELOPMENT CONSENTS:**
NO. 21/2016, 199A BURWOOD ROAD, BURWOOD &
NO. 133/2018- 197-197A BURWOOD ROAD, BURWOOD

Dear Robert Toohey,

In response to the email received on November 22 and our in-person meeting held on December 18, 2024, we provide the below response:

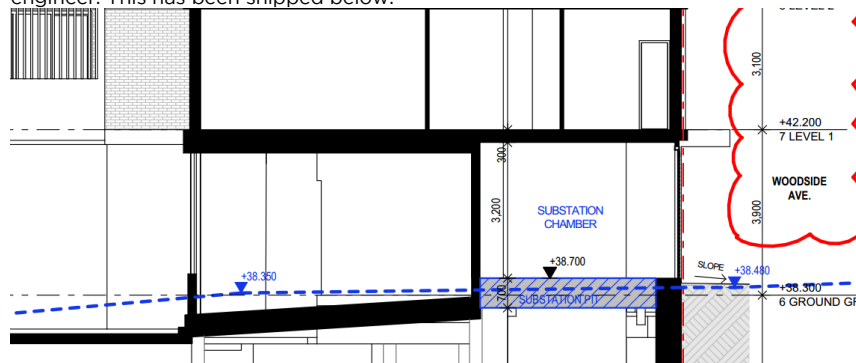
The proposed changes to level 1 and above are due to clearances. As the site has a natural fall, the proposed changes should be reviewed and considered from 'worst case scenario' location and not where the elevations indicate the ground Floor levels are. More specifically, it is important to review the height clearances along Woodside Ave being the Southern façade, including the substation, lobby and retail.

In order to understand the reasoning behind the proposed changes, it is first important to establish the issues with the current approved development, starting with 199A Burwood Rd:

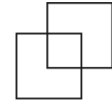
ISSUES WITH THE APPROVED DEVELOPMENT:

199A –

- **Substation** - No allowance was provided. A maximum demand calculation was done by a L3 electrician who has advised that a substation will be required. The substation needs to be a minimum of 3m clear of any glazing. The internal dimensions of a chamber substation are 5.2m (w) x 4.6m (d) x 3.2m (h). That being the case, the only logical place to propose the substation is near the vehicular entry off Woodside Ave, where it will be away from any glazing. The substation is required to have a minimum of 3.2m head clearance internally. It is also required to be stepped up from the public domain level. Furthermore, whilst level 1 is a transfer slab, the area above the substation has been coordinated to be reduced to 300mm rather than the 500mm. This is illustrated in Section EE of the architectural set on sheet DA-2200 and should be read in conjunction with the letter from L3 electrician and the structural drawings from the structural engineer. This has been snipped below:



- **Floor to Floor of Ground** - The development has been approved with a 3.5m floor to floor for the shops with the shops being below natural ground. Shop 3 has been approved 2-300mm under the lowest street RL that it corresponds to. Additionally, as the ground levels increase



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- towards Woodside Avenue, the head clearance to enter the residential lobby is less than 2.3 which is not desirable. The awning above the entry as approved is very low.
- **Building Entry & lobby does not appear welcoming** - The lobby as approved on ground floor does not address the street as it appears as a blank wall. The lift overrun and stairs are over the LEP height and are placed on the boundary which is not a great planning outcome.
 - **Basement Ramp** - The approved S4.55 (D) decreased the one-way ramp to its minimum. However, as the consent for DA BD.2018.133 (197-199A Burwood Rd) is relying on a right of way through 199A, the ramp width as approved on 199A does not allow the swept path to work as approved. The head clearance below 'Commercial 02' when crossing the boundary at B1 will not be sufficient, now that the engineer has provided the require slab thickness.
 - **Waste bins** - As approved, the residential bins will need to be transported through the residential lobby to be able to be collected.
 - **Accessibility & Levels**- The approval contains many 1:14 ramps with handrails which is not desirable, but also is a waste of space.
 - **Services** - With BCA 22 in force, and the client initiating the process to initiate construction, more consultants' feedback has been received. The proposal still lacks some required services. The building will also require slabs to be thickened in certain areas to take be consistent with the structural engineer's design.

Although the overall building height has increased by 1100mm, it is important to note that the impacts of the height increase are minimal and are cast on an existing commercial tenancy wall. The site's location on a corner means that a large portion of the shadow is being cast on Burwood Rd & Woodside Avenue for the majority of the hours. The proposed application also generally improves the streetscape and the perceived bulk, by relocating the lift and fire stairs away from the edge of the building. As demonstrate in the views from the sun and shadow diagrams, although the shadow has increased generally, there are areas where it has actually improved as a result of this change. The proposed increase in height is contextually insignificant and not considered to render the development as modified substantially different or radically transformed.

197-197A -

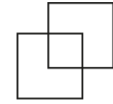
- **Sewer** - The approved basement footprint did not consider the existing sewer.
- **Vehicular access and Levels** - The basement access from 199 did not provide adequate head height clearances under Shop 2. It is important to note that the 2 buildings must be reviewed together and not individually.
- **Swept Path** - The 180 turn was tight for B99 and only allowed for B85. The propose 90 degree turn is now sufficient for B99 and B85 vehicles.
- **Accessibility & Levels** - The approved was irrational and did not provide an accessible pathway from the shops to the commercial bin room.
- **Safety** - The approved did not contain a secured lobby as it was open from the rear.
- **Services** - With BCA 22 in force, and the client initiating the process to initiate construction, more consultants' feedback has been received. The proposal still lacks some required services. The building will also require slabs to be thickened in certain areas to take be consistent with the structural engineer's design.

Although, the floor to floors of the boarding house did not require to be increased for compliance, it is considered a much better outcome than what is currently approved. The increase will create better amenity to the rooms that can target a 2.7m ceiling rather than 2.45m. As this is a business zone and the developments are constructed with nil side setback, most of the overshadowing as a result of the building height increase will be casted on the non-trafficable roof of 199 and will have little to no impact. The increase will also create a better transition between the 2 buildings' awnings and ground floor interface.



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Item Number DA4/25 - Attachment 4
Supporting information provided by the applicant, including substation details



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SCHEDULE OF AMENDMENTS

In comparison to the previous approved architectural set dated 24th November 2016.

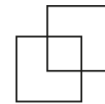
199A -

DRAWING NO.	REV.	DATE	AMENDMENTS
DA-0001 Cover	E	23.05.2024	General amendments to reflect changes
DA-0002 Site Analysis	E	23.05.2024	- Increase in slab and lift overrun RL
DA-2000 Basement	E	23.05.2024	- Increase ramp width; - Core shifted; - Stair configuration changed; - Commercial car space removed from GF and relocated on Basement 01
DA-2001 Ground Floor	E	23.05.2024	- Addition of Substation - Amend RLs to suit survey and rationalising ramps - Residential lobby amended to improve visibility from the street - Required services have been added - Residential bin area now has access from street - Awning extended - Increased ramp width to allow access to 197-197A Burwood Rd. Basement 0 - Reduction of car bays - Services and M.S.B. added
DA-2002 First Floor Plan	E	23.05.2024	- Columns added - Services added - Minimal facade improvements - Core shifted towards North boundary; - Relocation of residential lobby; - Units 101/ 102 - Redesigned due to changes on the core. - Unit 104 layout slightly changed to allow 1m deep usable balcony - Unit 105 - Redesigned to comply with accessibility standards.
DA-2003 Second Floor	E	23.05.2024	- Columns added - Services added - Minimal facade improvements - Core shifted towards North boundary; - Relocation of residential lobby; - Units 201/ 202 - Redesigned due to changes on the core. - Unit 204 layout slightly changed to allow 1m deep usable balcony - Unit 205 - Redesigned to comply with accessibility standards.
DA-2004 Third Floor	E	23.05.2024	- Columns added - Services added - Minimal facade improvements - Core shifted towards North boundary; - Relocation of residential lobby; - Units 301/ 302 - Redesigned due to changes on the core. - Unit 304 layout slightly changed to allow 1m deep usable balcony - Unit 305 - Redesigned to comply with accessibility standards.
DA-2005 Roof Terrace	E	23.05.2024	- Core shifted to be less visible from street - Services Added - Glazing added to protect lift from stormwater
DA-2006 Adapt./ Livable	E	23.05.2024	- Units 105 & 205 are now adaptable and livable instead of 102 due to core shift - Livable unit 101 bathroom door opens outwards to comply with accessibility standards.



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DA-2100 Elevations	E	23.05.2024	- Floor to floor level increased on ground floor by 1100mm; - Core moved away from facade - Minimum facade improvements - Windows adjusted as per new units layout.
DA-2200 Sections	E	23.05.2024	- Floor to floor level increased on ground floor by 1100mm - Basement RL lifted by 200mm - Core moved away from facade
DA-3000 Shadow Studies	E	23.05.2024	- Shadow increased due to 1.1m increased in building height
DA-4001 GFA Calculations	E	23.05.2024	- No changes
DA-4003 Schedule of Finishes	E	23.05.2024	- No changes

SCHEDULE OF AMENDMENTS

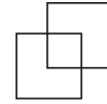
In comparison to the previous approved architectural set dated 22nd May 2020.

197-197A -

DRAWING NO.	REV.	DATE	AMENDMENTS
DA-0001 Cover	E	23.05.2024	General amendments to reflect changes
DA-0002 Site Plan	E	23.05.2024	- Increase in slab and lift overrun RL
DA-0101 Basement 1	E	23.05.2024	- Reduction of basement footprint - Reconfiguration of car spaces to improve swept path - Addition of services - Adjustment of ramp - Increase in bicycle spaces
DA-0102 Ground Floor	E	23.05.2024	- Change in RLs. - Fire stair and egress redesigned - Addition of services
DA-0103 Level 1	E	23.05.2024	- Required services added - Fire stair slightly amended - Balcony of units 101 -104 increased to comply with 1 m deep requirement to be usable - Unit 107 & 108 amended to accommodate services
DA-0104 Level 2	E	23.05.2024	- Floor plate RL lifted - Required services added - Fire stair slightly amended - Balcony of units 201 -204 increased to comply with 1 m deep requirement to be usable - Unit 206 & 207 amended to accommodate services
DA-0105 Level 3	E	23.05.2024	- Floor plate RL lifted - Required services added - Fire stair slightly amended - Balcony of units 301 -304 increased to comply with 1 m deep requirement to be usable - Unit 306 & 307 amended to accommodate services
DA-0106 Level 4	E	23.05.2024	- Floor plate RL increased - Required services added - Fire stair slightly amended - Unit 403 & 406 amended to accommodate services - Unit 401 redesigned



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DA-0107 Roof Plan	E	23.05.2024	- Lift overrun RL increased - Required services added - Add screening to hide services
DA-2100 Elevations	E	23.05.2024	- Enclosed lobby - Required services added - Levels 1 -4 head height increased to 3000mm - Minimal facade amendments
DA-2200 Sections A, B & C	E	23.05.2024	- Enclosed lobby - Required services added - Levels 1 -4 head height increased to 3000mm - Retail RL lifted by 200mm
DA-3000 Shadow Diagrams	E	23.05.2024	- Shadow increased due to increase in building height. However the shadow is substantially being cast on the roof of 199
DA-4000 GFA Calculations	E	23.05.2024	- Slight increase, but remains compliant
DA-4001 Perspective	E	23.05.2024	- Comparison provided
DA-4002 Schedule of Finishes	E	23.05.2024	- No changes

We trust that the information above and the amended drawings are sufficient and look forward to your favourable reply.

Regards,

Georges Jreije
NSW ARB 10993



Ph: (02) 9553 1857
Address: Suite 4, 15-17 Forest Rd
Hurstville NSW 2220
Postal Address: PO BOX 910
HURSTVILLE NSW 1481
ABN: 33160935142

17/12/2024

Creative Vision
Level 2, 14 Railway Pde
Burwood NSW 2134
charbela@cvision.com.au

REF: 197-199A Burwood Rd, Burwood – Substation Requirement/s

Att: Charbel,

Dear Charbel,

AAPE, as an accredited Level 3 Designer (NSW Trade & Investment Resources & Energy Accreditation Number 3712), has completed an application for power supply to the development at 197-199A Burwood Rd, Burwood. Ausgrid has reviewed the application and determined that a chamber substation is required for this development.

The chamber substation must comply with Ausgrid's requirements, and the guidelines outlined in NS113 (Site Selection and Construction Design Requirements for Chamber Substations). Specifically, as detailed in sections 8.3.1.1 and 8.3.2 of NS113:

- A headroom clearance of at least 3200mm is required to facilitate temporary equipment lifting.
- The substation must have a step-up of no less than 120mm and no more than 190mm from the external level to the access point of the chamber.

As stipulated by Ausgrid's standards, the substation levels cannot be lowered, as this would become non-compliant.

If you have any questions or inquiries, please don't hesitate to contact me on (02) 9553 1857.

Regards,

A handwritten signature in black ink, appearing to read 'Ali Alaouie', is written over a horizontal line.

Ali Alaouie

Level 3 ASP and Director

PROPOSED MIX USED DEVELOPMENT LOCATED AT @ 199A BURWOOD ROAD, COMPRISING OF 15 RESIDENTIAL UNITS WITH ASSOCIATED BASEMENT PARKING AND 3 COMMERCIAL SPACES FOR DEVELOPMENT APPLICATION

UNIT MIX				
LEVEL	1 BED	2 BED	3 BED	TOTAL
Ground	0	0	0	0
1	3	2	0	5
2	3	2	0	5
3	3	2	0	5
TOTAL	9	6	0	15

PERCENT	60%	40%	0%	100%

GFA CALC		
GFA TOTAL		
GROUND		187
1		325.5
2		324.5
3		324.5
TOTAL		1160.5

SITE AREA	581.4
-----------	-------

[illegible]

BURWOOD COUNCIL
Development Application
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022

CALCULATION TABLE		
TOTAL SITE AREA		581.4m
CONTROL	MAX ALLOWABLE	PROPOSED
GROSS FLOOR AREA (GFA)	1162.8	1160.5
FLOOR SPACE RATIO (FSR)	2:1	
BUILDING HEIGHT	15m	15.735m

CONTROL		MIN. REQUIRED		PROPOSED
SOLAR ACCESS	70%	11 UNITS		12 UNITS
CROSS VENTILATION	60%	9 UNITS		9 UNITS
SINGLE ORIENTED SOUTH FACING UNITS	10%	2 UNITS		0 UNITS
COMMUNAL OPEN SPACE	25%	145 m ²		349.15m ²
LANDSCAPE	40%	207.36 m ²		107 m ²
DEEP SOIL	10%	58.14 m ²		0

CAR PARKING				
CONTROL	UNITS	DCP RATES	RMS RATES	PROPOSED
1- 1 SPACES / 1 BED UNIT	9	9	0.6/U 5.4	
1- 1 SPACES / 2 BED UNIT	6	6	0.9/U 5.4	
2 - SPACES /3 BED UNIT	0	0	1.4/U 0	
VISITOR = 1 SPACE / 5 UNITS	3	3	13.8	
Total Residential		18		
Commercial: 1 space/400m ² +plus 1 space per 60m ² additional to the first 400m ²	1	1	1	
Total		19		19

WASTE	MIN. REQUIRED	PROPOSED
GENERAL WASTE= 1BIN/2 UNITS	15 UNITS	7.5 BINS
RECYCLING= 1BIN/3 UNITS	15 UNITS	5 BINS
RECYCLING= 1BIN/3 UNITS	15 UNITS	3 BINS
TOTAL RESIDENTIAL		15.5
GENERAL WASTE= 50L/100SQM FLOOR AREA/DAY	1050 L/ WEEK	5 BINS
RECYCLING= 25L/100SQM FLOOR AREA/DAY	525 L/ WEEK	2 BINS
TOTAL COMMERCIAL	1575 L/ WEEK	7 BINS

DRAWING INDEX	
Drawing N.	Name
DA-0001	COVER SHEET
DA-0002	SITE ANALYSIS
DA-2000	BASEMENT PLAN
DA-2001	GROUND FLOOR PLAN
DA-2002	LEVEL 01 PLAN
DA-2003	LEVEL 02 PLAN
DA-2004	LEVEL 03 PLAN
DA-2005	ROOF TERRACE
DA-2100	ELEVATIONS
DA-2200	SECTIONS
DA-3000	SHADOW STUDIES
DA-4001	GFA CALCULATION
DA-4002	FINISHES SCHEDULE



Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	Cl Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Cloeshelines
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			B Letter boxes
			MR Metal roof sheeting (with min. R3 insulation)
			P8 Planter box
			POS Private open space
			PS Privacy Screen
			RF Roof flashing
			RWT Rain Water Tank as per Basix
			SG Security gates
			SVR Services riser

Do not scale drawings. Verify all dimensions on site

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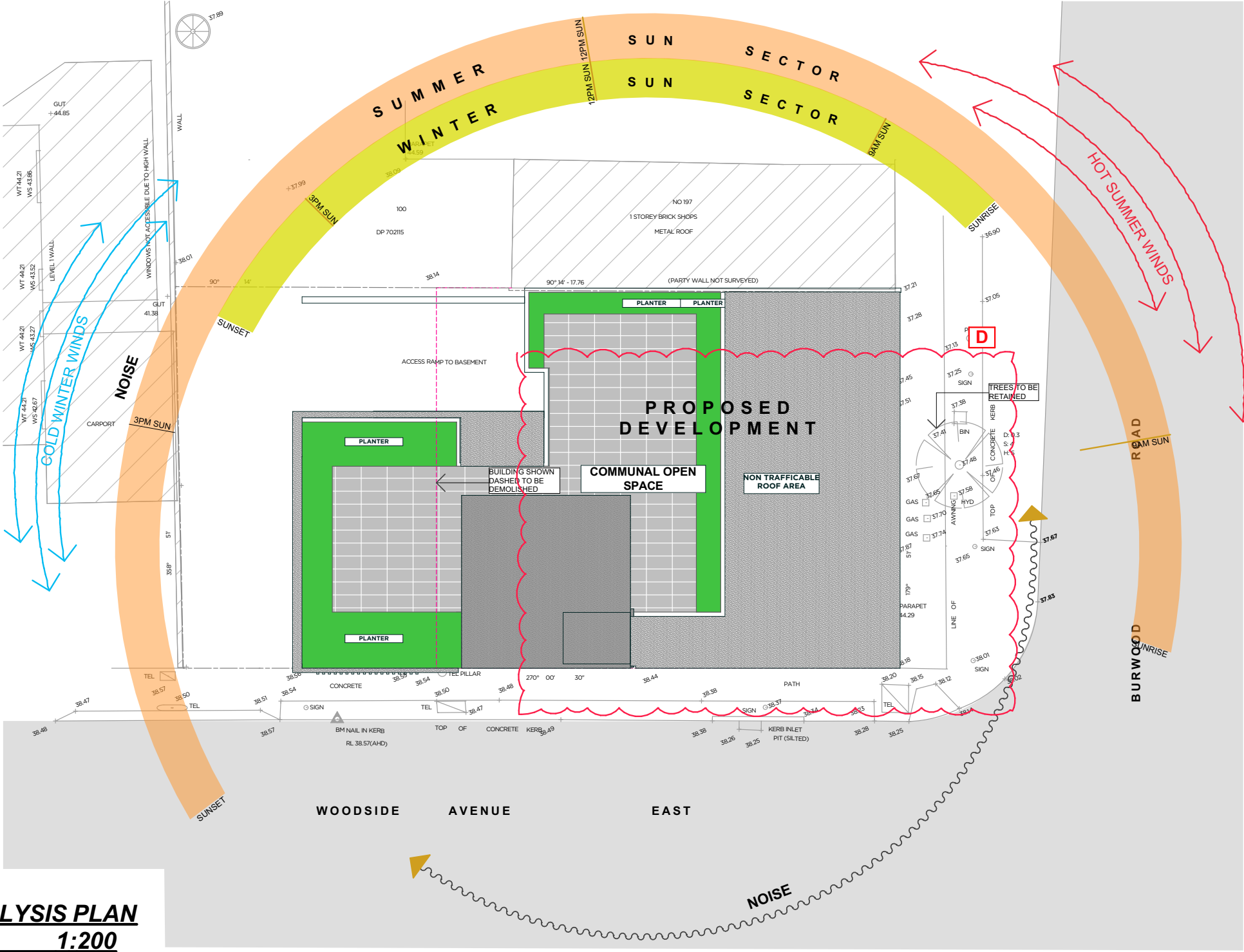
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P.O.BOX 288 ENFIELD NSW 2136
Phone (02) 9745 2014 Fax (02) 9745 0984
Email info@urbanlink.com.au

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DEVELOPMENT APPLICATION	
project	199A BURWOOD ROAD BURWOOD
client	AFAR HOLDING PTY LTD
drawing	COVER SHEET
	project no 12-009
	scale 1 : 2 0 0 @A3
	date 15/12/2021
	drawn MP
	checked ZB

drawing no
DA-0001

S.4.55 (D)



BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022

SITE ANALYSIS PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	CI Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Clotheslines
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GFB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			LB Letter boxes
			MR Metal roof sheeting (with min. R3 insulation)
			PS Planter box
			POS Private open space
			PS Privacy Screen
			RF Roof flashing
			RWT Rain Water Tank as per Basix
			SG Security gates
			SVR Services riser

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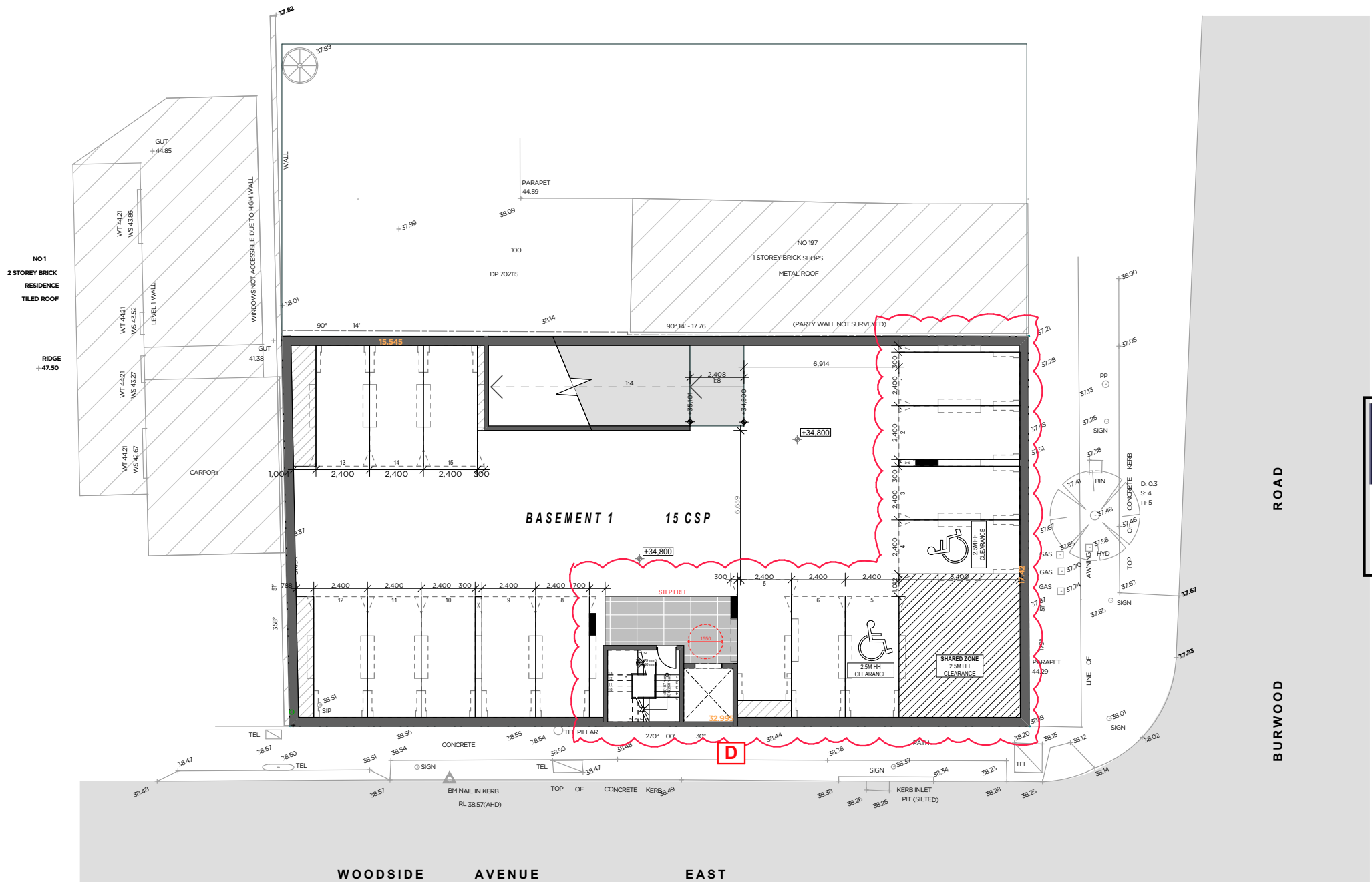
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DEVELOPMENT APPLICATION			
project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	SITE ANALYSIS	drawn	MP
		checked	ZB



drawing no
DA-0002

S.4.55 (D)



BASEMENT PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	CI Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Clotheslines
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GFB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			LB Letter boxes

Do not scale drawings. Verify all dimensions on site

SCHEDULE OF AMENDMENTS
BASEMENT
- Stair configuration changed & pump room added
- Additional adaptable car space provided as per DA consent conditions



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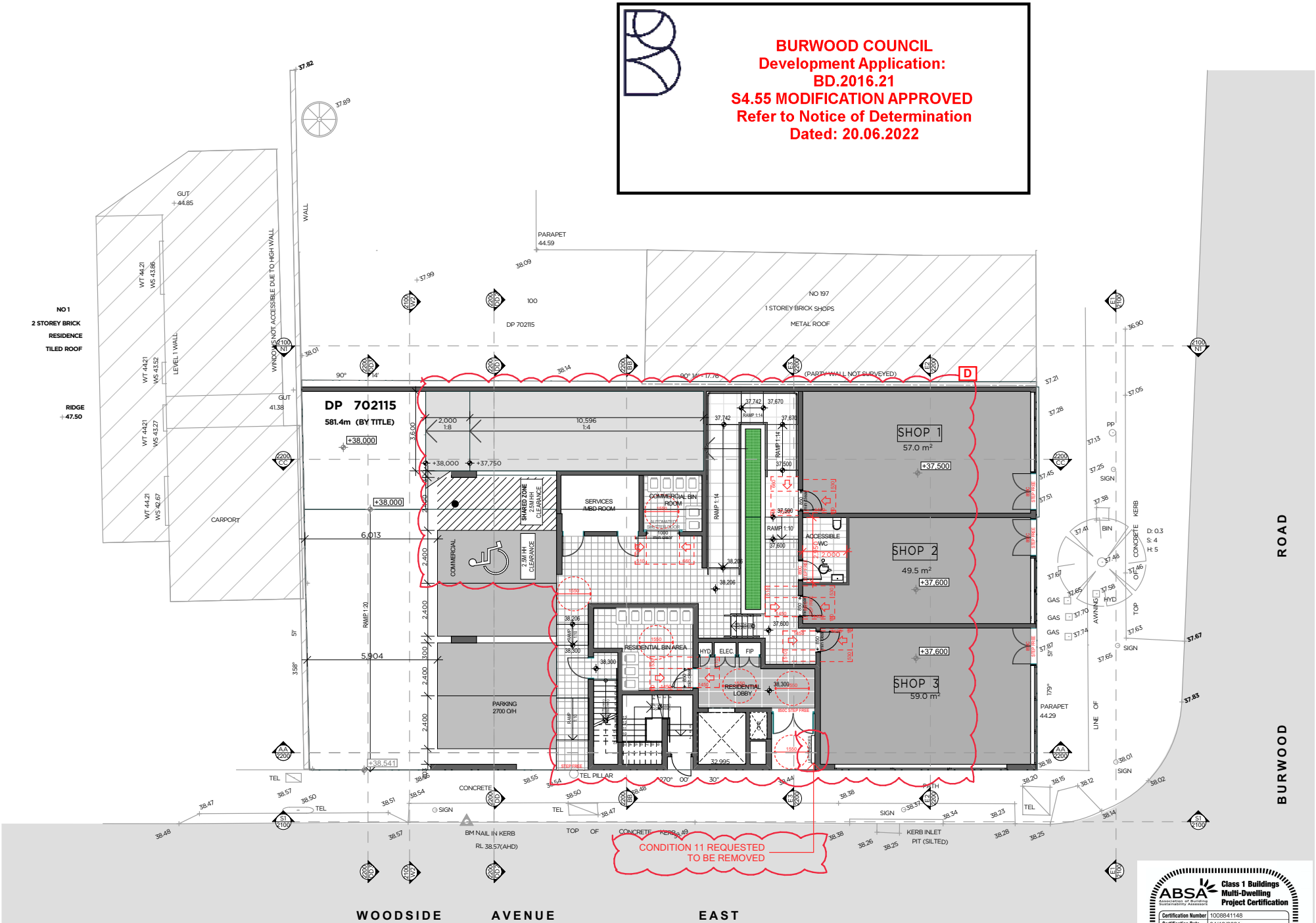
DEVELOPMENT APPLICATION			
project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	BASEMENT	drawn	MP
		checked	ZB



drawing no
DA-2000

S.4.55 (D)

BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022



GROUND FLOOR PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	CI Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Closets
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GFB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			LB Letter boxes

Do not scale drawings. Verify all dimensions on site

SCHEDULE OF AMENDMENTS
GROUND
- Services cupboard split to allow for MDB and Commercial Bin room.
- Residential bin room amended due to shape of stairs from above.
- Accessible ramps & Stairs leading to the Commercial were amended to comply with AS1428.1
- Vehicle access ramp amended to allow for shared zone area.
- Shop areas have amended
- Accessible WC for commercial tenancies added as per DA consent conditions
- CPE Shaft added next to lift.
- Condition 11 relating to mailbox location, to be deleted



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CALCULATION TABLE			
TOTAL SITE AREA		581.4 m ²	
CONTROL	MAX ALLOWABLE	PROPOSED	
GROSS FLOOR AREA (GFA)	1162.8	1156	
FLOOR SPACE RATIO (FSR)	2:1	2	
BUILDING HEIGHT	15m	<15m	

CONTROL	MIN. REQUIRED	PROPOSED	
SOLAR ACCESS	70%	11 UNITS	12 UNITS
CROSS VENTILATION	60%	9 UNITS	9 UNITS
SINGLE ORIENTED SOUTH FACING UNITS	10%	2 UNITS	0 UNITS
COMMUNAL OPEN SPACE	25%	145 m ²	349.15m ²
LANDSCAPE	40%	207.36 m ²	107 m ²
DEEP SOIL	10%	58.14 m ²	0

CAR PARKING			
CONTROL	m ²	UNITS	MIN REQUIRED
1 - 1 SPACES / 1 AND 2 BED UNIT		15	15
2 - SPACES / 3 BED UNIT		0	0
VISITOR = 1 SPACE / 5 UNITS		3	3
Total Residential		18	
Commercial 1 space/400m ² plus 1 space per 40m ² additional to the first 400m ²		1	1
Total		19	19

WASTE	MIN. REQUIRED	PROPOSED	
GENERAL WASTE= 1BIN/2 UNITS	15 UNITS	7.5 BINS	
RECYCLING= 1BIN/3 UNITS	15 UNITS	5 BINS	
GREENWASTE= 1 BIN/5 UNITS	15 UNITS	3 BINS	
TOTAL RESIDENTIAL		15.5	16
GENERAL WASTE= 50L/100SQM FLOOR AREA/DAY	1050 L/ WEEK	5 BINS	5
RECYCLING= 25L/100SQM FLOOR AREA/DAY	525 L/ WEEK	2 BINS	2
TOTAL COMMERCIAL	1575 L/ WEEK	7 BINS	7
TOTAL BIN			22

UNIT MIX				
LEVEL	1 BED	2 BED	3 BED	TOTAL
Ground	0	0	0	0
1	3	2	0	5
2	3	2	0	5
3	3	2	0	5
TOTAL	9	6	0	15

GFA CALC	
GFA TOTAL	
GROUND	187.8
1	321.76
2	323.51
3	322.93
TOTAL	1156

NATHERS Specs Summary:

- Floor slabs: - Concrete.
- R0.5 floor insulation to units 101, 102 and 103.
- None assessed for remainder.
- Exterior walls: - 100mm concrete veneer wall with foil + R1.5 batts in cavity to plasterboard lining, or wall system reaching a total R-value (R2.23). Assessed from ground, to level 3 floor walls.
- Unit walls bordering stairwells & lift shafts to be considered as "exterior" and meet the designated R-value. Modelled with medium colour finishes.
- Glazing: - Single clear glass, with aluminium framing:
- Modelled to all unit glazing:
- Type A (U-Value: 6.7, SHGC: 0.57).
- Type B (U-Value: 6.7, SHGC: 0.70).
- U-Value & SHGC are combined glass and frame figures.
- Ceiling/Roof: - R2.0 ceiling insulation to units with ceilings to roof.
- Assessed with sealed wet area exhaust fans.
- Concrete roof modelled with default medium colour finishes, and as unventilated.

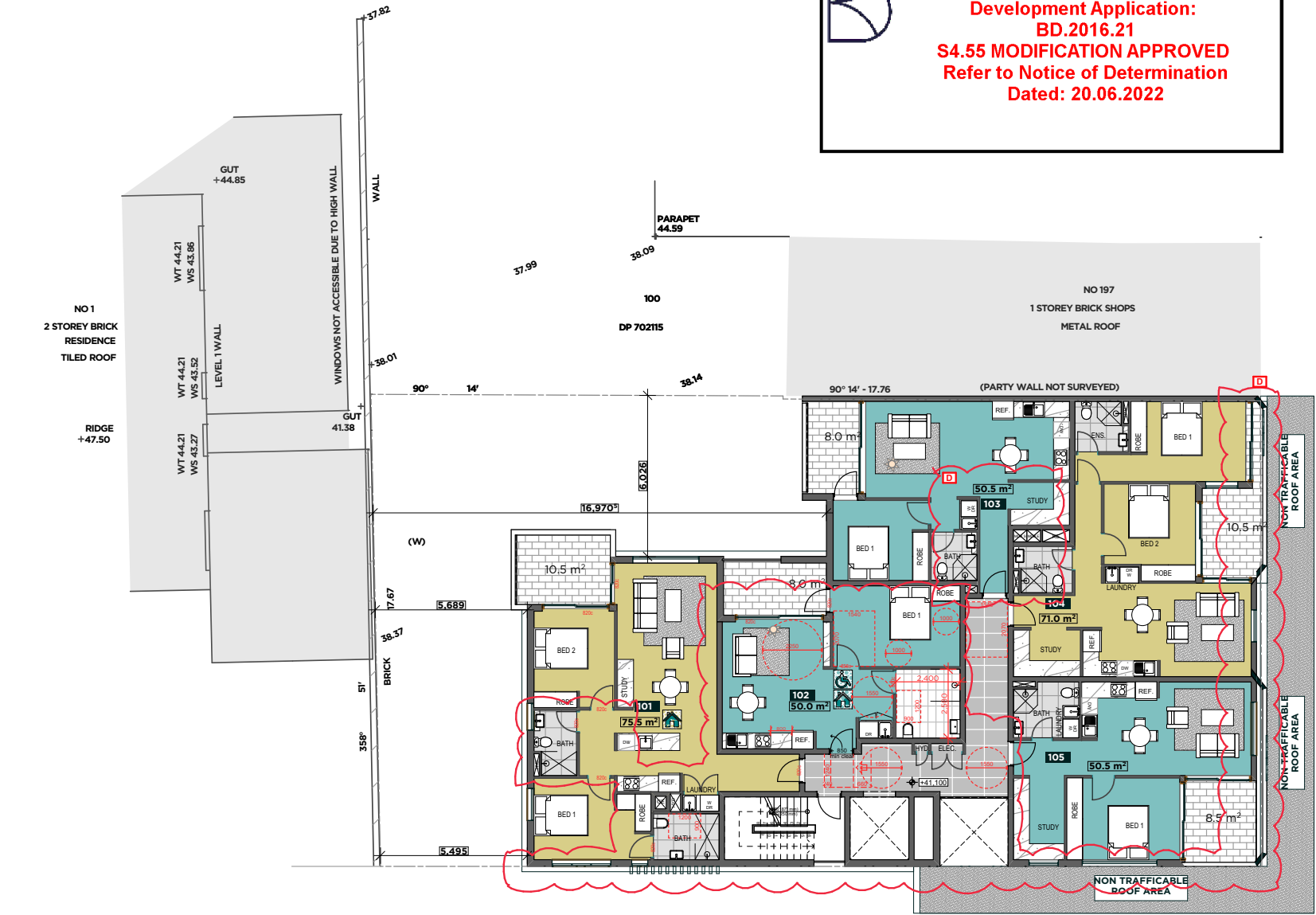
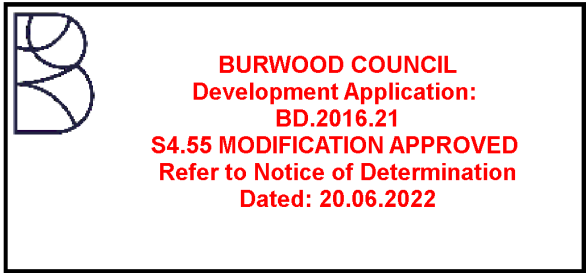
Please refer to NATHERS individual certificates for full details.

DEVELOPMENT APPLICATION			
project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale 1 : 2 0 0 @A3	
		date	15/12/2021
drawing	GROUND	drawn	MP
		checked	ZB



drawing no
DA-2001

S.4.55 (D)



FIRST FLOOR PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	CI Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Clotheslines
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GFB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			LB Letter boxes
			MR Metal roof sheeting (with min. R3 insulation)
			PS Planter box
			POS Private open space
			PS Privacy Screen
			RF Roof flashing
			RWT Rain Water Tank as per Basix
			SG Security gates
			SVR Services riser

Do not scale drawings. Verify all dimensions on site

SCHEDULE OF AMENDMENTS
LEVEL 01-03 TYPICAL

- Unit 101 - Study removed due to changes in fire stair. Ensuite and Laundry amended.
- Unit 102 - Layout of study amended due to Service cupboards added in the Lobby. Also 1800X2000 required in front of lift meant Laundry shifted to kitchen area.
- Unit 102 to be adaptable / liveable
- Unit 103 - Service shaft added adjacent to study.
- Unit 104 - Laundry shifted to allow for bathroom to work.
- Unit 105 - robe enlarged. Could possibly work as an adaptable unit if explored further.
- CPE Shaft added next to lift.
- Hydraulic Risers added behind showers.

CALCULATION TABLE			
TOTAL SITE AREA		581.4 m ²	
CONTROL	MAX ALLOWABLE	PROPOSED	
GROSS FLOOR AREA (GFA)	1162.8	1156	
FLOOR SPACE RATIO (FSR)	2.1	2	
BUILDING HEIGHT	15m	<15m	

CONTROL	MIN. REQUIRED	11 UNITS	PROPOSED
SOLAR ACCESS	70%	11 UNITS	12 UNITS
CROSS VENTILATION	60%	9 UNITS	9 UNITS
SINGLE ORIENTED SOUTH FACING UNITS	10%	2 UNITS	0 UNITS
COMMUNAL OPEN SPACE	25%	145 m ²	349.15m ²
LANDSCAPE	40%	207.36 m ²	107 m ²
DEEP SOIL	10%	58.14 m ²	0

CAR PARKING			
CONTROL	m ²	UNITS	MIN REQUIRED
1 - 1 SPACES / 1 AND 2 BED UNIT		15	15
2 - SPACES / 3 BED UNIT		0	0
VISITOR = 1 SPACE / 5 UNITS		15	3
Total Residential			18
Commercial 1 spacex400m ² plus 1space per 40m ² additional to the first 400m ²		1	1
Total		19	18

WASTE	MIN. REQUIRED	PROPOSED	
GENERAL WASTE= 1BIN/2 UNITS	15 UNITS	7.5 BINS	
RECYCLING= 1BIN/3 UNITS	15 UNITS	5 BINS	
GREENWASTE= 1 BIN/5 UNITS	15 UNITS	3 BINS	
TOTAL RESIDENTIAL		15.5	16
GENERAL WASTE= 50L/100SQM FLOOR AREA/DAY	1050 L/ WEEK	5 BINS	5
RECYCLING= 25L/100SQM FLOOR AREA/DAY	525 L/ WEEK	2 BINS	2
TOTAL COMMERCIAL	1575 L/ WEEK	7 BINS	7
TOTAL BIN			22

UNIT MIX				
LEVEL	1 BED	2 BED	3 BED	TOTAL
Ground	0	0	0	0
1	3	2	0	5
2	3	2	0	5
3	3	2	0	5
TOTAL	9	6	0	15
PERCENT	60%	40%	0%	100%

GFA CALC	
GFA TOTAL	
GROUND	187.8
1	321.76
2	323.51
3	322.93
TOTAL	1156
SITE AREA	581.4

NatHERS Specs Summary:

- Floor slabs: - Concrete.
 - R0.5 floor insulation to units 101, 102 and 103.
 - None assessed for remainder.
- Exterior walls: - 100mm concrete veneer wall with foil + R1.5 batts in cavity to plasterboard lining, or wall system reaching a total R-value (R2.23). Assessed from ground, to level 3 floor walls.
 - Unit walls bordering stairwells & lift shafts to be considered as "exterior" and meet the designated R-value. Modelled with medium colour finishes.
- Glazing: - Single clear glass, with aluminium framing:
 - Modelled to all unit glazing:
 - Type A (U-Value: 6.7, SHGC: 0.57).
 - Type B (U-Value: 6.7, SHGC: 0.70).
- Ceiling/Roof: - R2.0 ceiling insulation to units with ceilings to roof.
 - Assessed with sealed wet area exhaust fans.
 - Concrete roof modelled with default medium colour finishes, and as unventilated.

Please refer to NatHERS individual certificates for full details.

LEGEND	
CROSS VENTILATION	
SOLAR ACCESS	

DEVELOPMENT APPLICATION			
project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
drawing	LEVEL 01	date	15/12/2021
		drawn	MP
		checked	ZB



drawing no
DA-2002

S.4.55 (D)

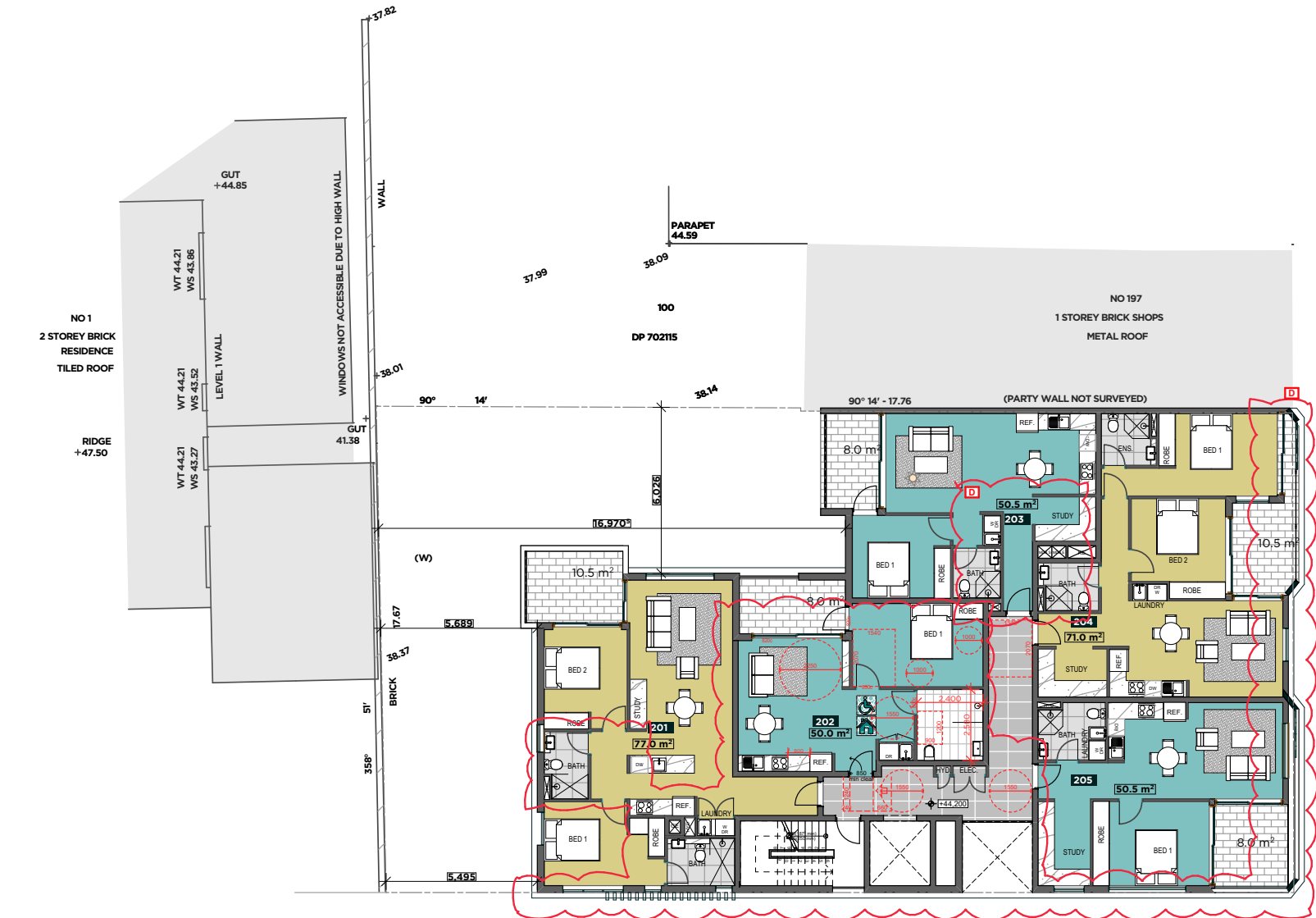


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Plans of the development as currently approved



SECOND FLOOR PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	CI Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Clotheslines
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GFB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			LB Letter boxes
			MR Metal roof sheeting (with min. R3 insulation)
			PS Planter box
			POS Private open space
			PS Privacy Screen
			RF Roof flashing
			RWT Rain Water Tank as per Basix
			SG Security gates
			SVR Services riser

Do not scale drawings. Verify all dimensions on site

SCHEDULE OF AMENDMENTS
LEVEL 01-03 TYPICAL
- Unit 101 - Study removed due to changes in fire stair. Ensuite and Laundry amended.
- Unit 102 - Layout of study amended due to Service cupboards added in the Lobby. Also 1800X2000 required in front of lift meant Laundry shifted to kitchen area.
- Unit 102 to be adaptable / liveable
- Unit 103 - Service shaft added adjacent to study.
- Unit 104 - Laundry shifted to allow for bathroom to work.
- Unit 105 - robe enlarged. Could possibly work as an adaptable unit if explored further.
- CPE Shaft added next to lift.
- Hydraulic Risers added behind showers.

BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022



NATHERS Specs Summary:	
- Floor slabs:	- Concrete. - R0.5 floor insulation to units 101, 102 and 103. - None assessed for remainder.
- Exterior walls:	- 100mm concrete veneer wall with foil + R1.5 batts in cavity to plasterboard lining, or wall system reaching a total R-value (R2.23). Assessed from ground, to level 3 floor walls. - Unit walls bordering stairwells & lift shafts to be considered as "exterior" and meet the designated R-value. Modelled with medium colour finishes.
- Glazing:	Single clear glass, with aluminium framing: - Modelled to all unit glazing: - Type A (U-Value: 6.7, SHGC: 0.57). - Type B (U-Value: 6.7, SHGC: 0.70).
U-Value & SHGC are combined glass and frame figures.	
- Ceiling/Roof:	- R2.0 ceiling insulation to units with ceilings to roof. - Assessed with sealed wet area exhaust fans. - Concrete roof modelled with default medium colour finishes, and as unventilated.
Please refer to NATHERS individual certificates for full details.	

URBAN LINK
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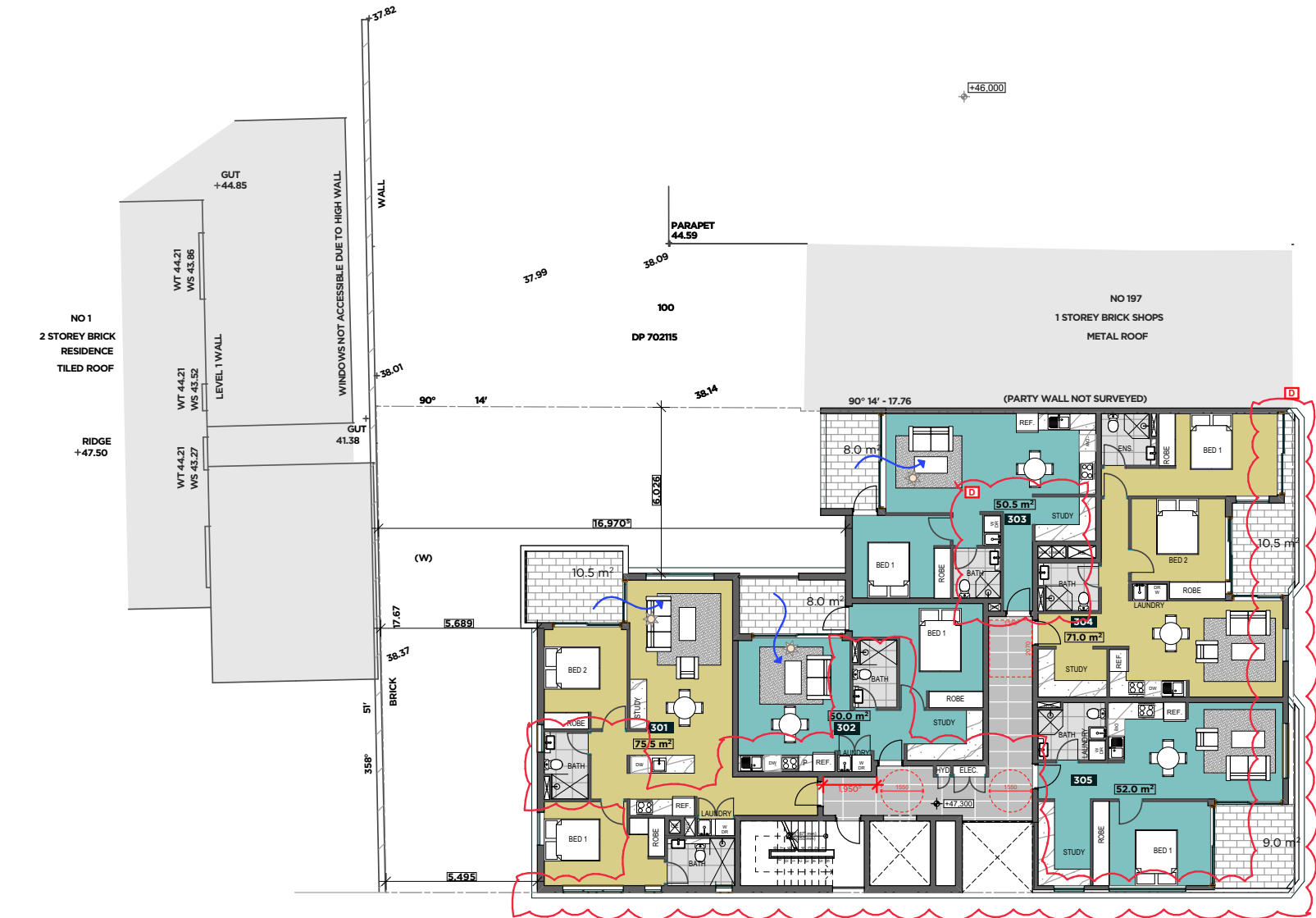
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DEVELOPMENT APPLICATION	
project	199A BURWOOD ROAD BURWOOD
client	AFAR HOLDING PTY LTD
drawing	LEVEL 02
project no	12-009
scale	1 : 2 0 0 @A3
date	15/12/2021
drawn	MP
checked	ZB



drawing no
DA-2003

S.4.55 (D)



BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022

THIRD FLOOR PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
C	DA AMENDMENTS	12.10.16	C Concrete - rendered + painted
D	S4.55 MODIFICATION	15/12/2021	CI Cladding - fibre cement or prefinished metal
			CF Concrete - natural
			CO Clotheslines
			DP Down pipe
			DSL Deep Soil Landscaping
			E Entrance
			G Gutter
			GFB Glazed face brick ref. to materials for colour
			HWU Hot Water Unit
			LA Landscape area to landscape architects design
			LB Letter boxes
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			PS Planter box
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			SVR Services riser

Do not scale drawings. Verify all dimensions on site

SCHEDULE OF AMENDMENTS
LEVEL 01-03 TYPICAL

- Unit 101 - Study removed due to changes in fire stair. Ensuite and Laundry amended.
- Unit 102 - Layout of study amended due to Service cupboards added in the Lobby. Also 1800X2000 required in front of lift meant Laundry shifted to kitchen area.
- Unit 103 - Service shaft added adjacent to study.
- Unit 104 - Laundry shifted to allow for bathroom to work.
- Unit 105 - robe enlarged. Could possibly work as an adaptable unit if explored further.
- CPE Shaft added next to lift.
- Hydraulic Risers added behind showers.



NatHERS Specs Summary:

- Floor slabs: - Concrete.
 - R0.5 floor insulation to units 101, 102 and 103.
 - None assessed for remainder.
 - Exterior walls: - 100mm concrete veneer wall with foil + R1.5 batts in cavity to plasterboard lining, or wall system reaching a total R-value (R2.23). Assessed from ground, to level 3 floor walls.
 - Unit walls bordering stairwells & lift shafts to be considered as "exterior" and meet the designated R-value. Modelled with medium colour finishes.
 - Glazing: **Single clear glass, with aluminium framing:**
 - Modelled to all unit glazing:
 - Type A (U-Value: 6.7, SHGC: 0.57).
 - Type B (U-Value: 6.7, SHGC: 0.70).
 - U-Value & SHGC are combined glass and frame figures.
 - Ceiling/Roof: - R2.0 ceiling insulation to units with ceilings to roof.
 - Assessed with sealed wet area exhaust fans.
 - Concrete roof modelled with default medium colour finishes, and as unventilated.
- Please refer to NatHERS individual certificates for full details.

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DEVELOPMENT APPLICATION			
project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	LEVEL 03	drawn	MP
		checked	ZB



drawing no
DA-2004

S.4.55 (D)



ROOF TOP PLAN
SCALE 1:200

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
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			PS Privacy Screen
			RF Roof flashing
			RWT Rain Water Tank as per Basix
			SG Security gates
			SVR Services riser

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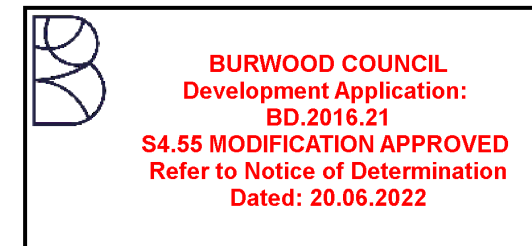
DEVELOPMENT APPLICATION

project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	ROOF TERRACE	drawn	MP
		checked	ZB



drawing no
DA-2005

S.4.55 (D)



LIVEABLE & PRE ADAPTABLE 1:100



LIVEABLE & POST ADAPTABLE 1:100



URBAN  **LINK**
a r c h i t e c t u r e

DEVELOPMENT APPLICATION

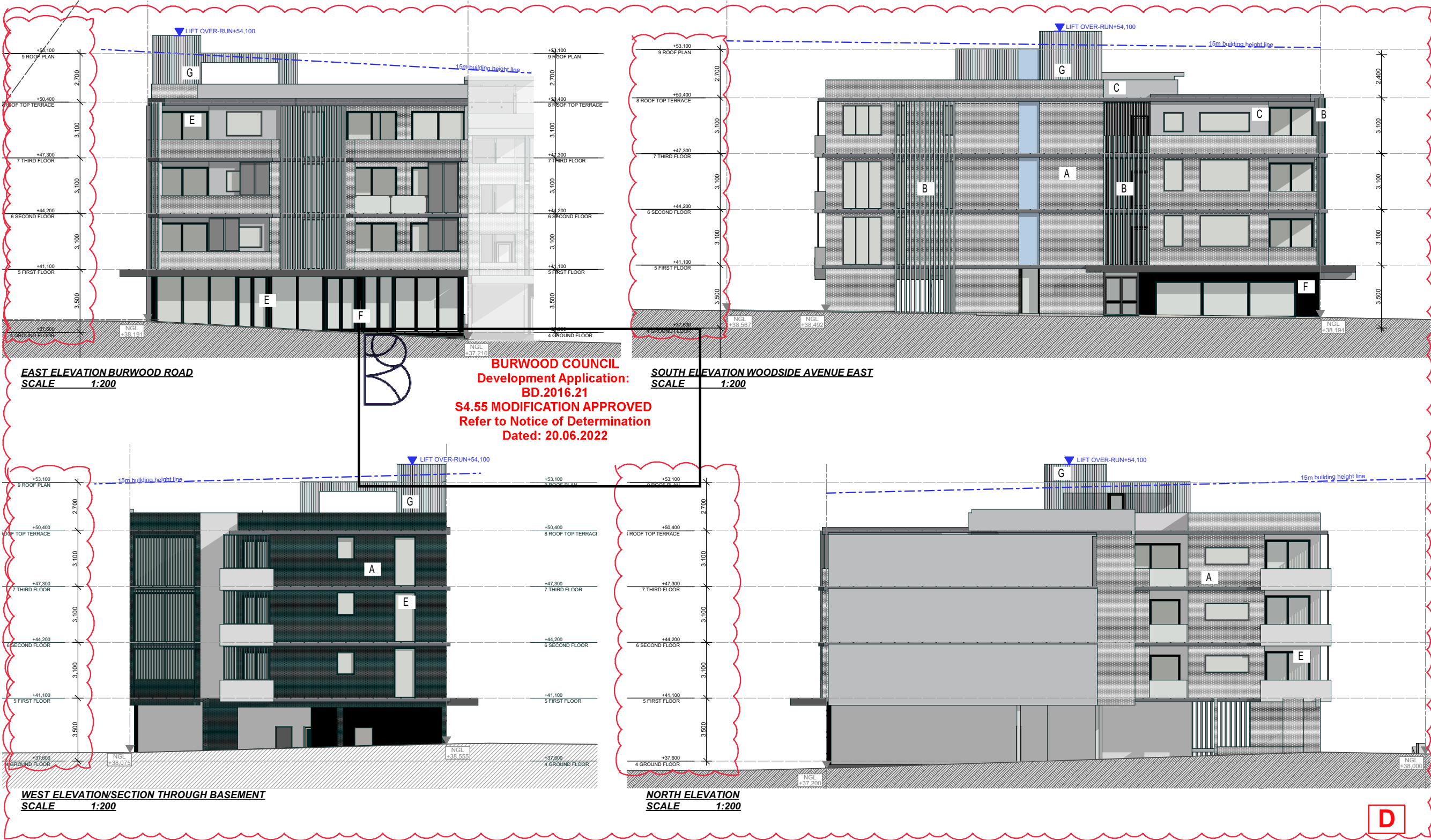
A circular diagram with a black line segment and a green 'n'.

S.4.55 (D)

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Plans of the development as currently approved



D

SCHEDULE OF AMENDMENTS
ELEVATIONS

- Floor to floor levels increased to 3100mm
- Facade design & materials amended

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
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DEVELOPMENT APPLICATION

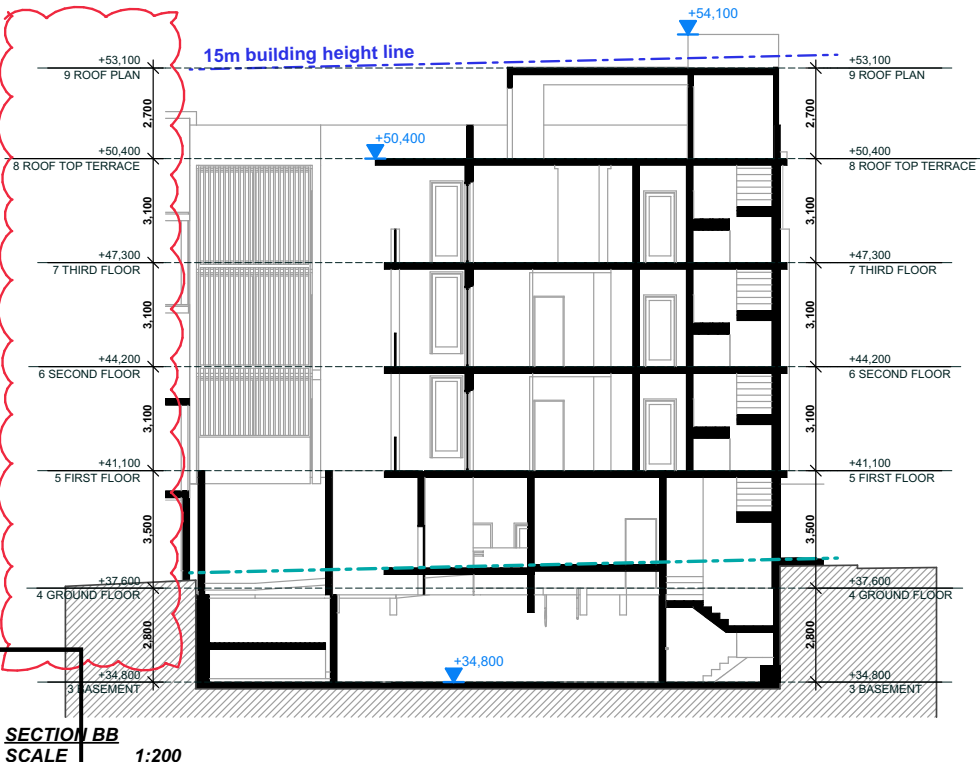
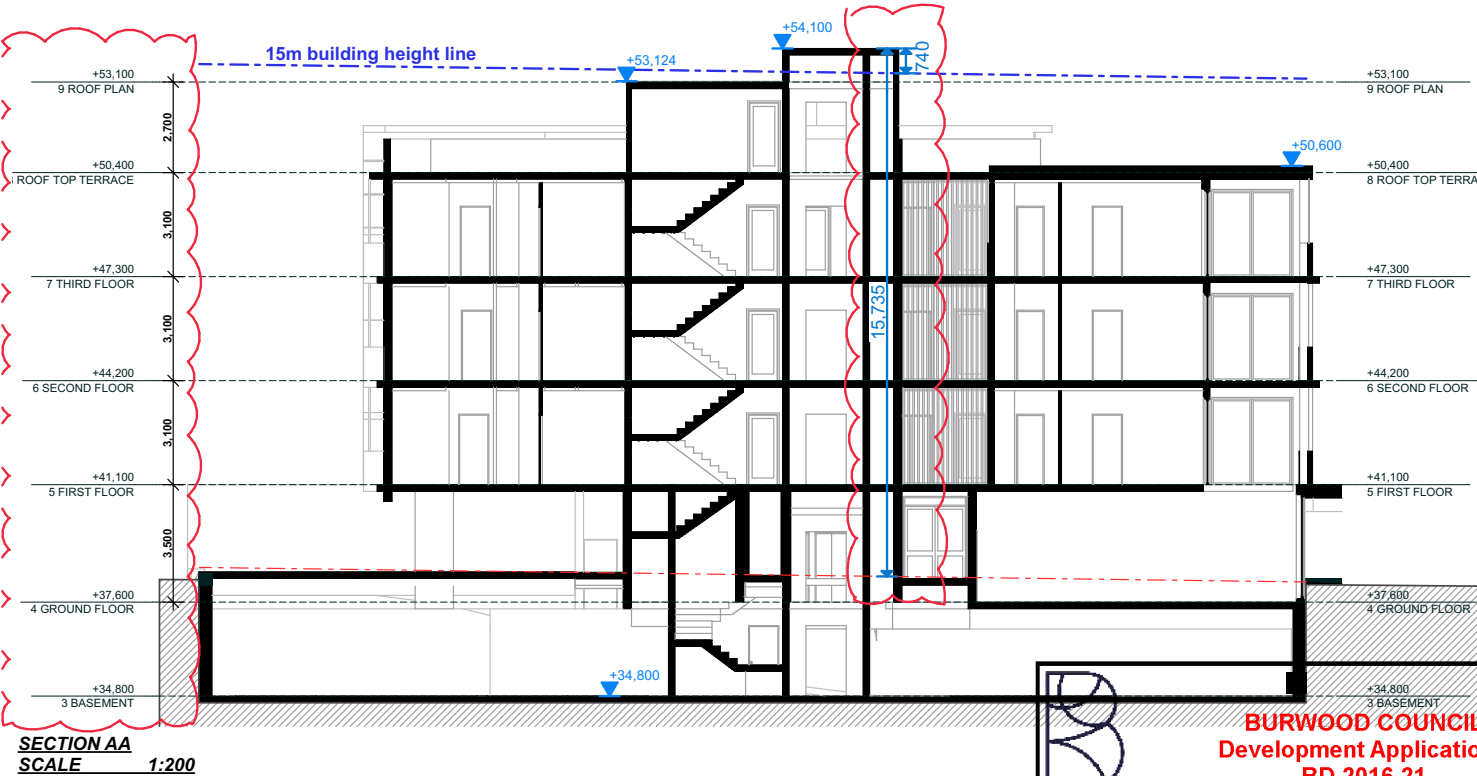
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client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	ELEVATIONS	drawn	MP
		checked	ZB



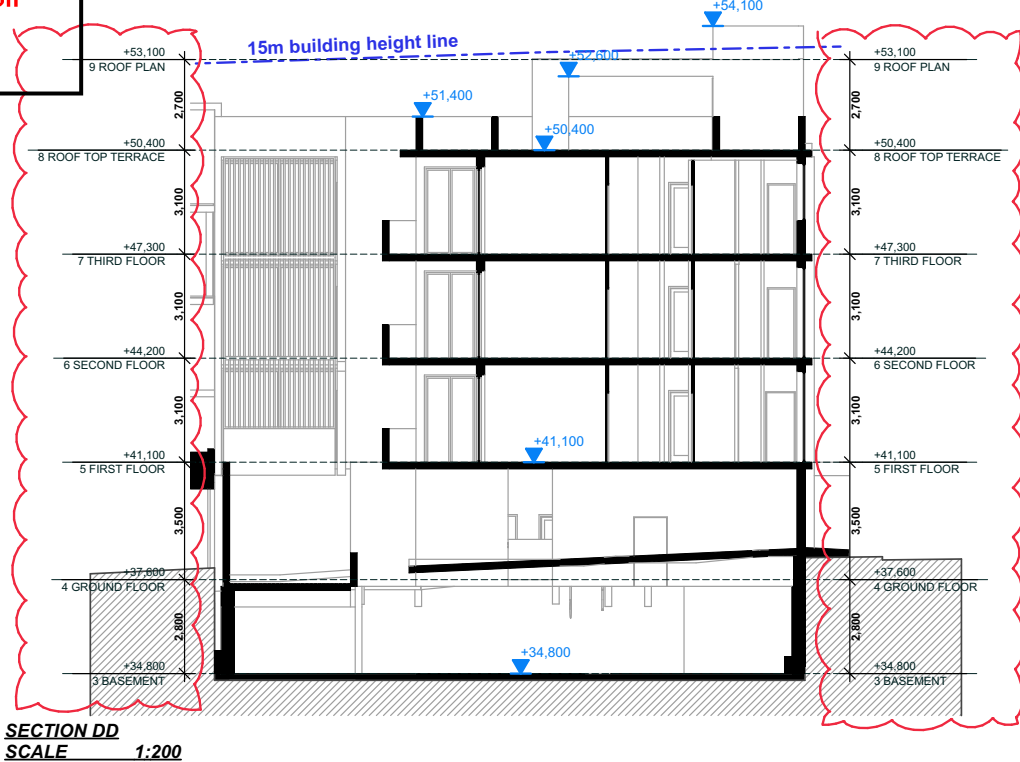
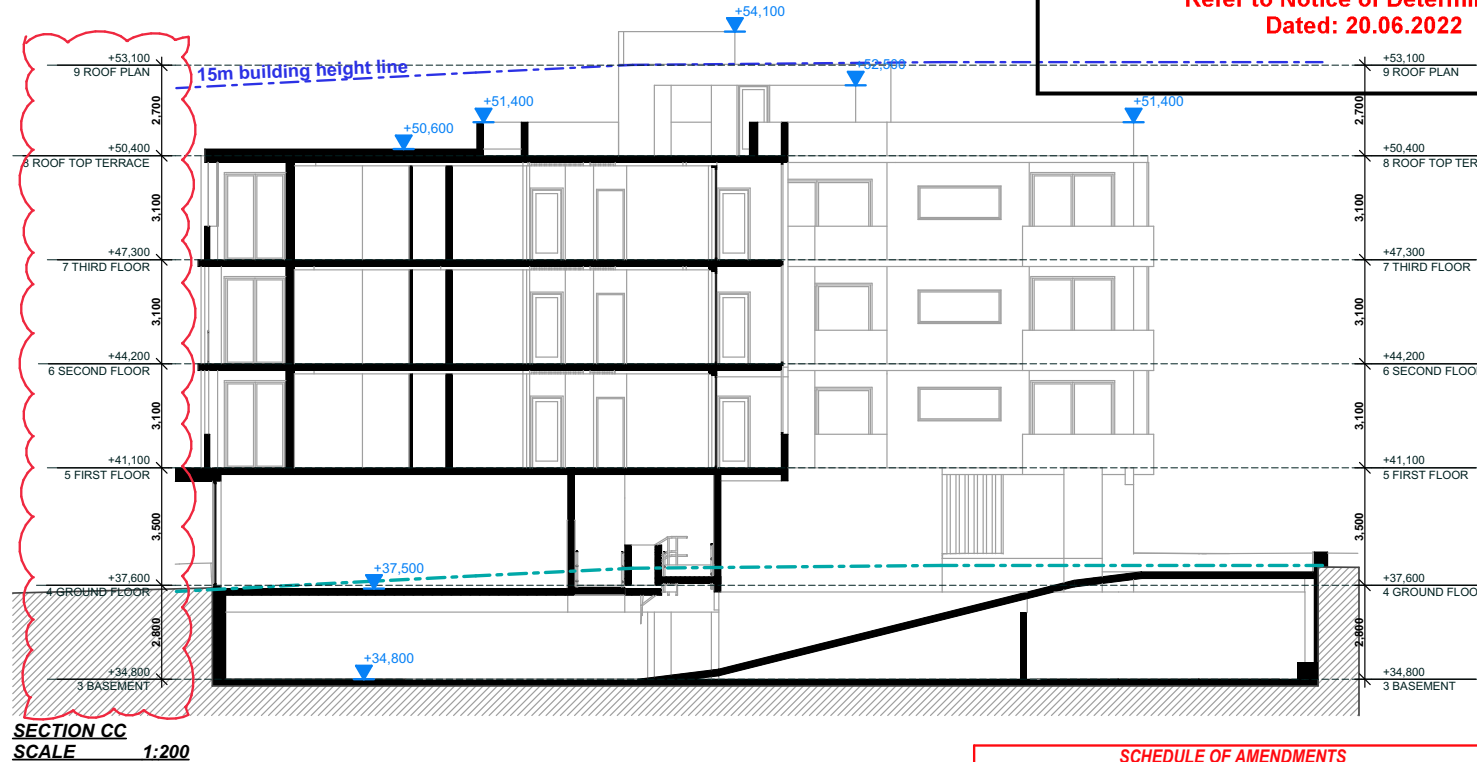
drawing no
DA-2100

S.4.55 (D)

Plans of the development as currently approved



BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022



SCHEDULE OF AMENDMENTS
SECTIONS

- Floor to floor levels increased to 3100mm

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
B	DA AMENDMENTS	22.08.16	B Bins
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Do not scale drawings. Verify all dimensions on site



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DEVELOPMENT APPLICATION

project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	SECTIONS	drawn	MP
		checked	ZB

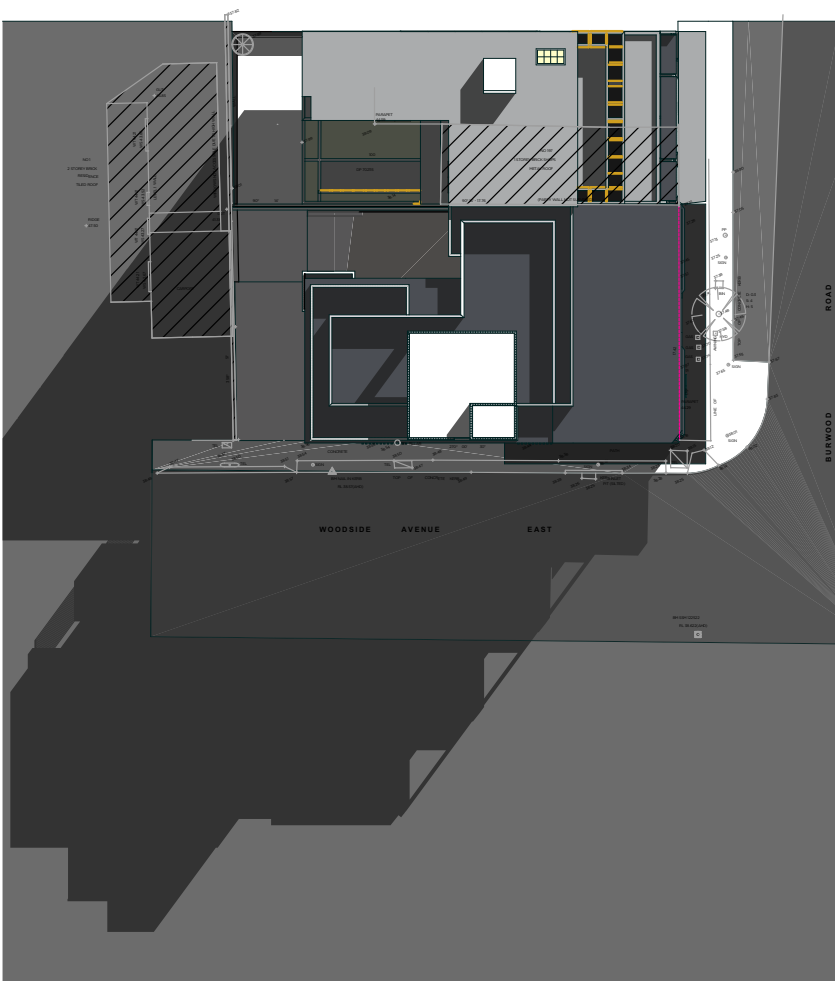


drawing no
DA-2200

S.4.55 (D)



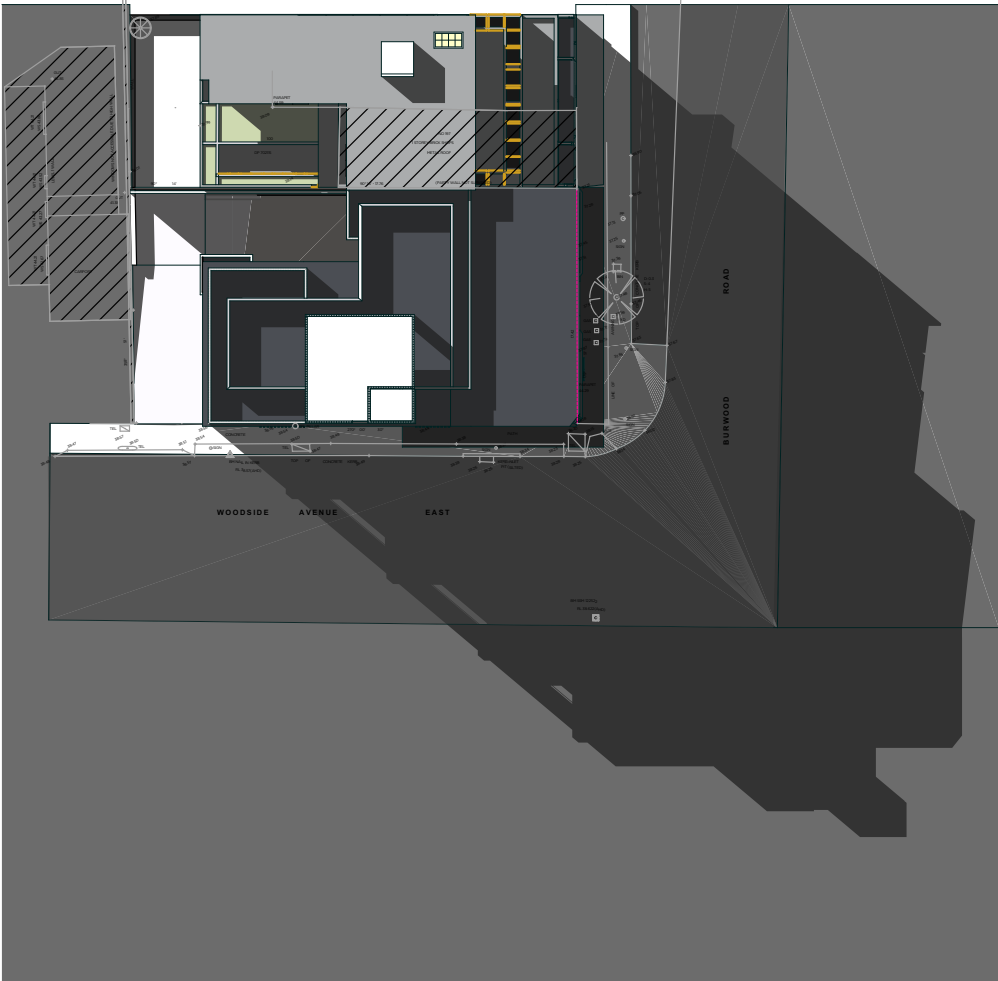
BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022



9AM SHADOW JUNE 21
SCALE 1:500



12PM SHADOW JUNE 21
SCALE 1:500



3PM SHADOW JUNE 21
SCALE 1:500

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
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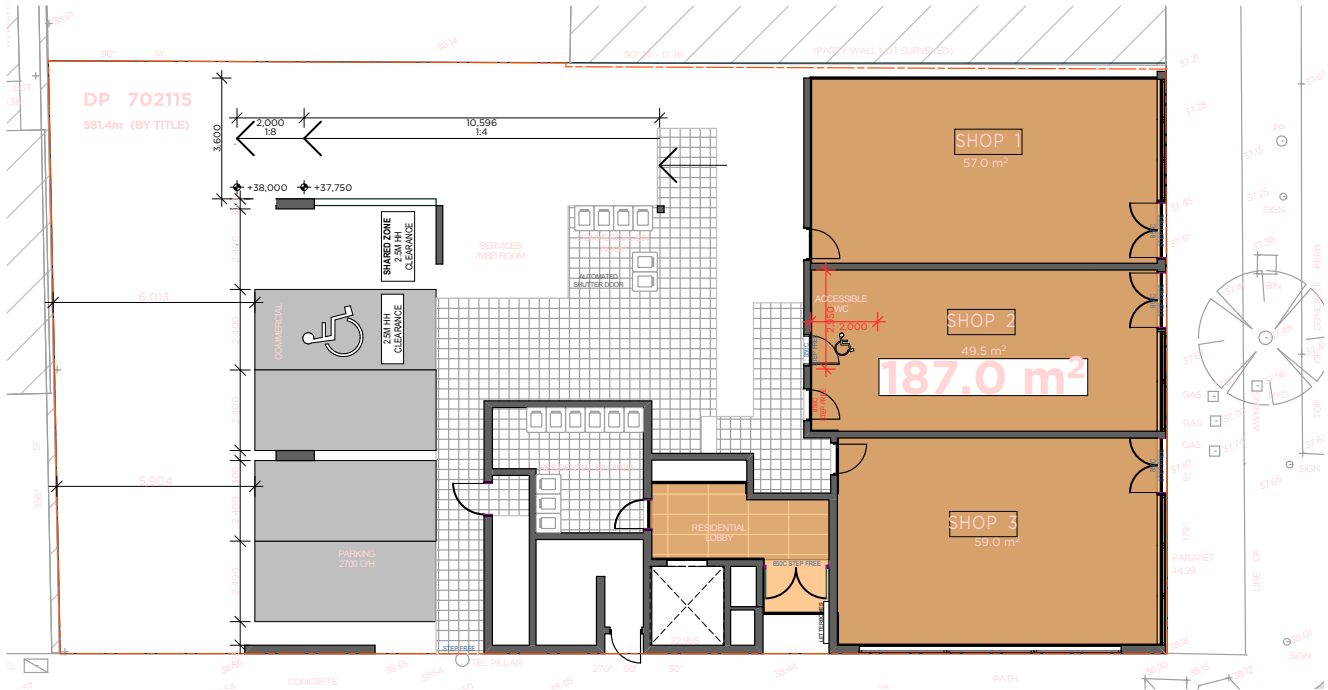
DEVELOPMENT APPLICATION			
project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
		date	15/12/2021
drawing	SHADOW STUDIES	drawn	MP
		checked	ZB



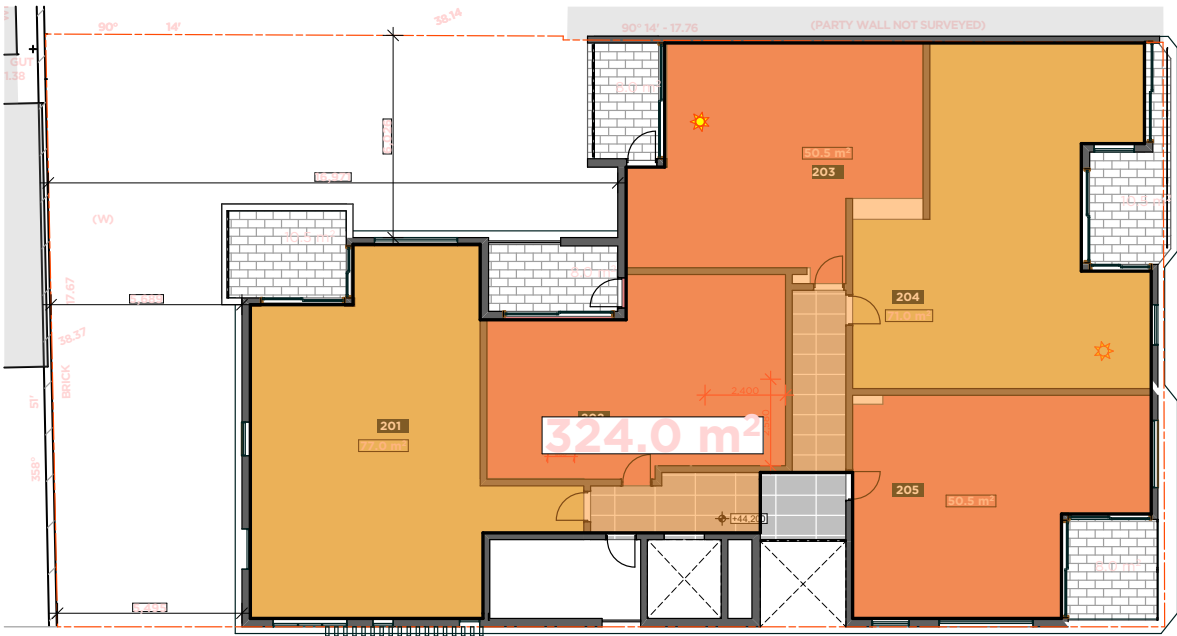
drawing no
DA-3000

S.4.55 (D)

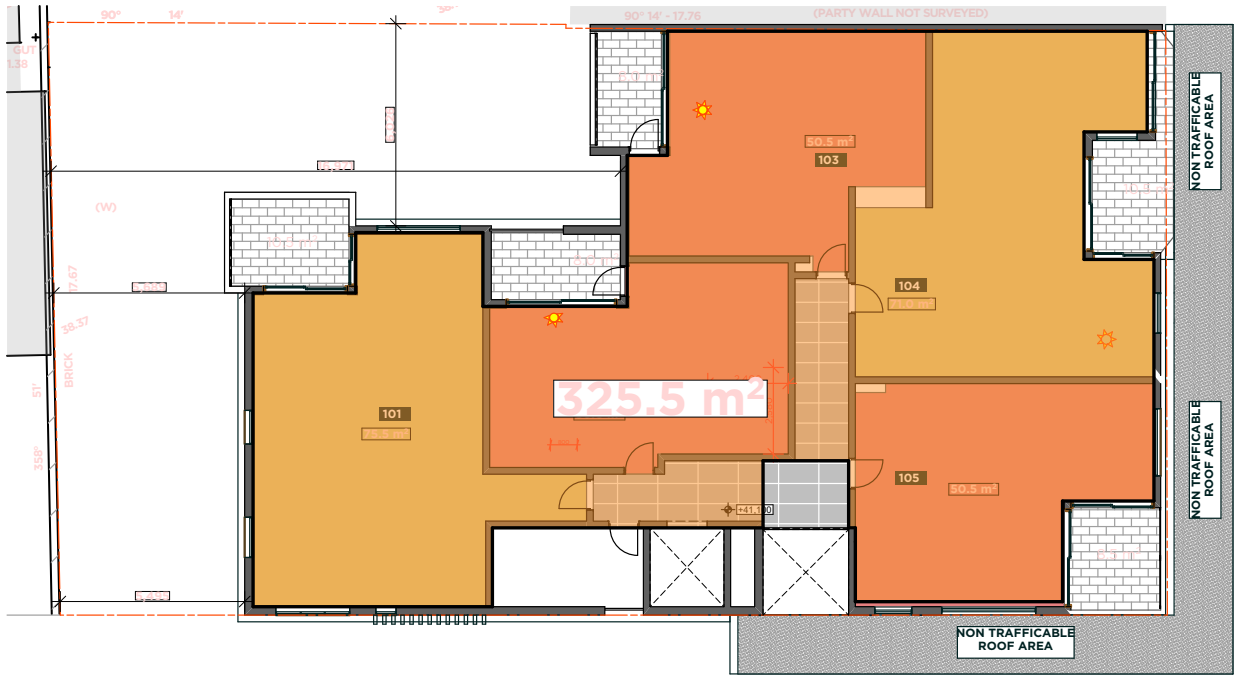
Plans of the development as currently approved



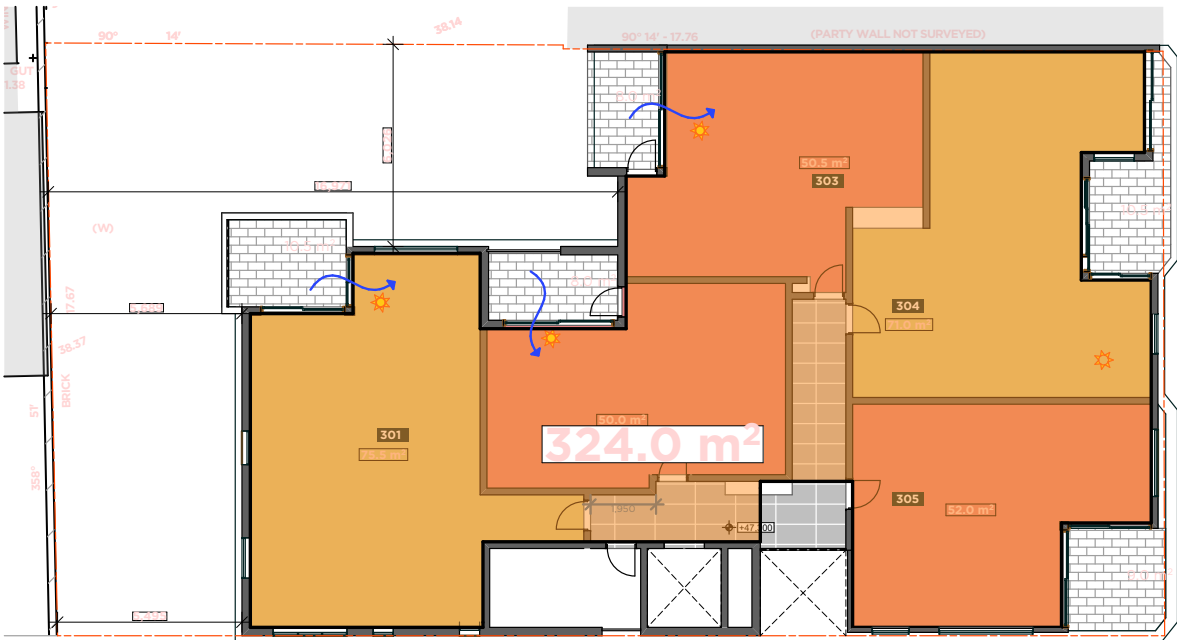
GROUND FSR CALC
SCALE 1:200



SECOND FSR CALC
SCALE 1:200



FIRST FSR CALC
SCALE 1:200



THIRD FSR CALC
SCALE 1:200

GFA CALC	
GFA TOTAL	
GROUND	187.0
1	325.5
2	324.0
3	324.0
TOTAL	1160.5
SITE AREA	581.4

BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022

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DEVELOPMENT APPLICATION

project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
drawing	GFA CALCULATIONS	date	15/12/2021
		drawn	MP
		checked	ZB



drawing no
DA-4001

S.4.55 (D)

Issue	Amendment	Date	LEGEND
A	ISSUED FOR DA APPROVAL	05.01.16	BAL Balustrade to BCA requirements
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			SG Security gates
			SVR Services riser

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SCHEDULE OF EXTERNAL MATERIALS & FINISHES FOR PROPOSED MIXED USE DEVELOPMENT AT 199A BURWOOD ROAD, BURWOOD ,NSW



A

BROWN STOCK-PRESSED BRICK OR SIMILAR

B

VERTICAL FIXED LOUVRES GREY COLOR

C

DULUX WHITE DUCK A216 OR SIMILAR

D

GLASS BALUSTRADE TRANSLUCENT-WHITE

E

GREY ALM FRAMED WINDOWS & DOORS OR SIMILAR

F

RENDER & PAINT FINISH DULUX - CELTIC SKY

G

STARCO WALL CLADDING METAL GREY OR SIMILAR

BURWOOD COUNCIL
Development Application:
BD.2016.21
S4.55 MODIFICATION APPROVED
Refer to Notice of Determination
Dated: 20.06.2022

COLOURS ARE INDICATIVE ONLY AND MAY VARY DUE TO AVAILABILITY

Issue	Amendment	Date	LEGEND
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SCHEDULE OF AMENDMENTS
FINISHES SCHEDULE
- Facade design & materials amended



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DEVELOPMENT APPLICATION

project	199A BURWOOD ROAD BURWOOD	project no	12-009
client	AFAR HOLDING PTY LTD	scale	1 : 2 0 0 @A3
drawing	FINISHES SCHEDULE	date	15/12/2021
		drawn	MP
		checked	ZB



drawing no
DA-4002

S.4.55 (D)